



IV – Transportation Access Plan (TAP)



To: Mayor's Office of Strategic Planning
and Community Development
City of Somerville
93 Highland Avenue
Somerville, MA 02143

Date: April 23, 2018

Memorandum

Project #: 14000.00

From: Patrick Dunford, P.E.
Senior Project Manager

Re: Transportation Access Plan
XMBLY – 5 Middlesex Avenue
Somerville, Massachusetts

The following information is being provided to document the draft Transportation Access Plan (TAP) for the XMBLY development (the "Project") to be located at 5 Middlesex Avenue in Somerville, Massachusetts (the "Site"). The TAP will be issued as a final document upon review and approval by the city, following and required edits or additional from that review. This document and accompanying information depicts the proposed Project access for automobile, bicycle, and pedestrian traffic. Information regarding truck deliveries and service vehicles (trash, recycling, etc.) also is provided for review.

Site Access Plan

The Project site is bound by existing roadways around its perimeter, which will allow for multiple options for entering and exiting the overall Project site. The Project also will include the construction of a new "Road K" traveling in a north/south direction through the center of the Site. This roadway will be intersected at its midpoint by Road L, which will continue to the east to its terminus with Grand Union Boulevard. Road K will intersect Foley Street opposite the K-Mart Driveway on the opposite side of the roadway, and this location will continue to function as a full-access unsignalized intersection. Road K will continue to the south through the Site where it will intersect Revolution Drive opposite the existing Home Depot driveway. To enhance access at this location, a new eastbound left-turn lane will be constructed within the existing roadway median to accommodate entering left-turns into the Project Site. This intersection will continue to operate as a full-access four-way, unsignalized intersection.

To avoid traffic conflicts on Grand Union Boulevard, turning movements to and from Road L will be limited to right-turns only. Road L will provide access and egress for the residential 197-space parking garage within Block 23, and Site residents also may use Road K to travel to and from the garage. Road K also will provide access and egress to the Block 21 commercial parking garage and the 36-space Block 26 parking lot. The access driveway for the Block 21 garage has been located roughly 120 feet to the south of Foley Street. In doing so, it is expected that the majority of traffic to and from the garage will be oriented to the northerly segment of Road K as opposed to the remaining 680 feet of roadway to the south. The presence of on-street parking and traffic-calming features should help discourage use of this roadway by non-Site traffic. By providing this internal Site roadway, conflicts on the surrounding roadways will be minimized. A new driveway will be provided on Foley Street for the Block 21 driveway, but exiting left-turns will be restricted from that location.

A new driveway also will be provided on Middlesex Avenue, but it will be limited to entering and exiting right-turns only due to the existing landscaped island opposite the site which limits Middlesex Avenue to one-way, northbound travel only in this area. To help provide adequate sight lines looking from this driveway towards northbound



Middlesex Avenue traffic, the easterly curblineline of this roadway will be modified slightly. Specifically, as shown in Figure 5.14, the existing edge of road will be shifted by up to 26 feet to the west. Traffic heading northbound on Mystic Avenue still will be able to freely turn right onto Middlesex Avenue, but exiting Site traffic will be able to see these oncoming vehicles for a greater distance. With this change, there also will be additional green space provided along the Site's Middlesex Avenue frontage which should provide for improved conditions for pedestrians in this area. Finally, the proposed 16,000 SF City of Somerville fire station will have its own driveway on Middlesex Avenue at the northwest corner of Block 21. The Proponent is committed to working with the City to help provide appropriate measures to help ensure timely, safe, and efficient access and egress to this new amenity.

Site Plans and Supporting Graphics

The stamped Project Site plans accompanying this application have been attached for reference. To supplement the Site plans, graphics highlighting the planned vehicular and pedestrian accommodations have been provided for general reference.

Transportation Elements Plan

The attached "Figure 3.4 – Ground Floor Plan" from the PUD-PMP submittal provides the required content specified for the TAP "Transportation Elements Plan". However, for consistency with the remainder of the overall submittal, the color scheme shown has not been altered for this TAP. Block 24 is currently the only existing building on the property and it will remain in place as shown. All of the other buildings depicted on the plan represent new construction. The roadway dimensions, roadway striping, and signage all are depicted on the "Layout & Materials Plan" within the civil/site plans accompanying this submittal.

On-Street Parking

The regulation of on-street parking will be coordinated through consultation with the City of Somerville. This parking will consist of the 36 on-street spaces to be provided along Road K along both sides of the roadway to help serve the individual businesses, while helping to create a vibrant street environment. There also is existing metered parking on Grand Union Boulevard and Foley Street adjacent to the Site. These spaces currently have two-hour time limits Monday through Saturday from 8 AM to 8 PM, with \$0.25 pricing per 15 minutes. It is expected that the new Road K parking will follow a similar structure, but the final regulation of this on-street parking will be coordinated with the City of Somerville.

Pedestrian Access Plan

A plan depicting the Project sidewalk network and general building entrance locations is provided attached to this document. The building entrances shown are general locations; more detail and information are provided as part of the architectural plans accompanying this submittal.

Bicycle Parking Plan

The exact locations and configurations of the internal building bicycle parking have not yet been finalized. The required number of bicycle parking spaces will be developed as the design advances in accordance with City of Somerville standards.



Memorandum

Motor Vehicle Parking Plan

A plan showing the proposed structured parking supply, surface parking spaces, and on-street parking is provided attached to this document.

Vehicle Movement Plan

Vehicle tracking diagrams have been provided to demonstrate the ability of large vehicles to navigate in and out of the Project Site from the various loading facilities and/or driveways. Due to the multiple location where these activities will occur, 12 separate plan sheets depicting the movements are provided attached to this document.



Memorandum

ATTACHMENTS

- **Proposed Site Plans – April 23, 2018**
- **Transportation Elements Plan**
- **Pedestrian Access Plan**
- **Motor Vehicle Parking Plan**
- **Vehicle Tracking Diagrams – March 15, 2018**

Ref: 14000.00
April 23, 2018

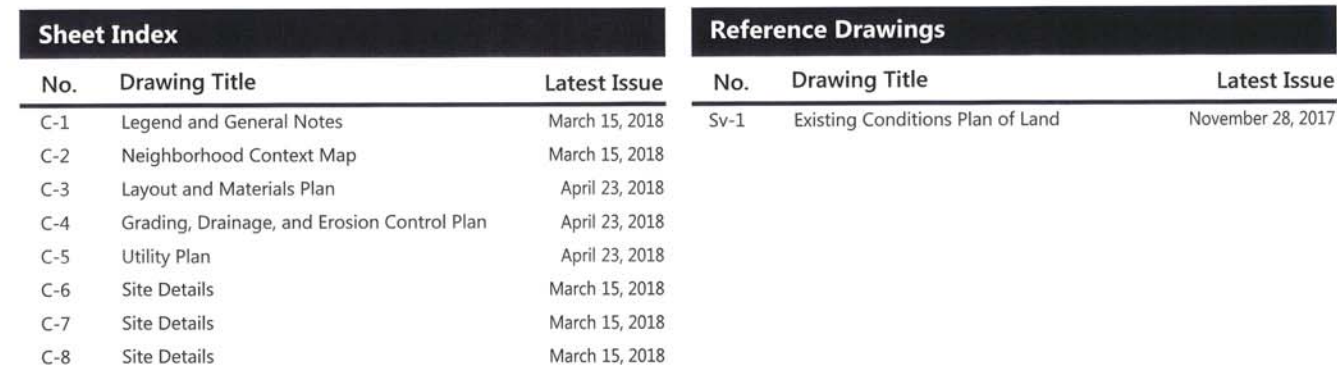


Memorandum

➤ **Proposed Site Plans – April 23, 2018**

Issued for	PUP-PMP
Date Issued	March 15, 2018
Latest Issue	April 23, 2018

5 Middlesex Avenue
Somerville, Massachusetts



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Cresset Development
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Phone: (617) 624-9100

Somerville Office Associates
Limited Partnership
c/o Michael M. Ades
810 Seventh Avenue, 10th Floor
New York City, New York 10019

Zoning District: Assembly Square Mixed-Use District (ASMD)



Architect
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200 High Street, 2nd Floor
Boston, MA 02110
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Copley-Wolff
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Phone: (617) 654-9000





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			TOP OF CURB ELEVATION
		BASELINE			BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT			SPOT ELEVATION
		ZONING LINE			TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE			BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
		WETLAND LINE WITH FLAG			MONITORING WELL
		FLOODPLAIN			UNDERDRAIN
		BORDERING LAND SUBJECT TO FLOODING			DRAIN
		WETLAND BUFFER ZONE			ROOF DRAIN
		NO DISTURB ZONE			SEWER
		200' RIVERFRONT AREA			FORCE MAIN
		GRAVEL ROAD			OVERHEAD WIRE
		EDGE OF PAVEMENT			WATER
		BITUMINOUS BERM			FIRE PROTECTION
		BITUMINOUS CURB			DOMESTIC WATER
		CONCRETE CURB			GAS
		CURB AND GUTTER			ELECTRIC
		EXTRUDED CONCRETE CURB			STEAM
		MONOLITHIC CONCRETE CURB			TELEPHONE
		PRECAST CONC. CURB			FIRE ALARM
		SLOPED GRAN. EDGING			CABLE TV
		VERT. GRAN. CURB			CATCH BASIN
		LIMIT OF CURB TYPE			DOUBLE CATCH BASIN
		SAWCUT			GUTTER INLET
		BUILDING			DRAIN MANHOLE
		BUILDING ENTRANCE			TRENCH DRAIN
		LOADING DOCK			PLUG OR CAP
		BOLLARD			CLEANOUT
		DUMPSTER PAD			FLARED END SECTION
		SIGN			HEADWALL
		DOUBLE SIGN			SEWER MANHOLE
		STEEL GUARDRAIL			CURB STOP & BOX
		WOOD GUARDRAIL			WATER VALVE & BOX
		PATH			TAPPING SLEEVE, VALVE & BOX
		TREE LINE			SIAMESE CONNECTION
		WIRE FENCE			FIRE HYDRANT
		FENCE			WATER METER
		STOCKADE FENCE			POST INDICATOR VALVE
		STONE WALL			WATER WELL
		RETAINING WALL			GAS GATE
		STREAM / POND / WATER COURSE			GAS METER
		DETENTION BASIN			ELECTRIC MANHOLE
		HAY BALES			ELECTRIC METER
		SILT FENCE			LIGHT POLE
		SILT SOCK / STRAW WATTLE			TELEPHONE MANHOLE
		MINOR CONTOUR			TRANSFORMER PAD
		MAJOR CONTOUR			UTILITY POLE
		PARKING COUNT			GUY WIRE & ANCHOR
		COMPACT PARKING STALLS			HAND HOLE
		DOUBLE YELLOW LINE			PULL BOX
		STOP LINE			MATCHLINE
		CROSSWALK			
		ACCESSIBLE CURB RAMP			
		ACCESSIBLE PARKING			
		VAN-ACCESSIBLE PARKING			

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADI	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE - 4" (3' LINE, 30' SPACE)
CONC	CONCRETE
DWLL	DOTTED WHITE LANE LINE - 4" (3' LINE, 9' SPACE)
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GC	GRANITE CURB
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
SYEL	SOLID YELLOW EDGE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE
WQU	WATER QUALITY UNIT

Notes

General	Layout and Materials
1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.	1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.	2. CURB RADII ARE THREE (3) FEET UNLESS OTHERWISE NOTED.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).	3. CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.	4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.	5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.	6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.	Demolition
8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.	1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.	3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.	4. THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.	5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.
13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF-SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.	Erosion Control
14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.	1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
Utilities	2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.	3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.	4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.	5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS: A. PAVEMENTS AND CONCRETE SURFACES: FLUSH B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.	Existing Conditions Information
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.	1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER 2017 AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. IN OCTOBER 2017.
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.	2. TOPOGRAPHY: HORIZONTAL DATUM ARE BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THE PLANS HEREON REFER TO NGVD OF 1929.
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLANS: A. WATER PIPES SHALL BE CEMENT LINED DUCTILE IRON (DIP) CLASS 52 B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE C. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP). ALL PIPES 18 INCHES AND SMALLER SHALL BE CLASS V. ALL OTHER PIPES SHALL BE CLASS III UNLESS INDICATED OTHERWISE ON THE PLANS. D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.	Document Use
8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.	1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.	2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (IF MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE FIVE (5) FEET.	3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

XMBLY

5 Middlesex Avenue
Somerville, Massachusetts

No.	Revision	Date	Appr.

Designed by	Checked by

Issued for	Date

PUD-PMP

March 15, 2018

Not Approved for Construction

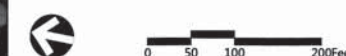
Legend and
General Notes



C-1

Sheet 01 of 08

Project Number
14000.00



XMBLY
5 Middlesex Avenue
Somerville, Massachusetts

No.	Revision	Date	App'd.

Designed by	Checked by
Issued for	Date
PUD-PMP	March 15, 2018

Not Approved for Construction

Neighborhood
Context Map



C-2

Sheet 02 of 08

Project Number
14000.00



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Parking Summary Chart

Description	Size		Residential		Office/LAB /R&D		Retail		Restaurant		Fire		Total	
	Required	Provided	Required	Provided	Required	Provided	Required	Provided	Required	Provided	Required	Provided	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	487	929	20	14	7	1,457	1662					
COMPACT SPACES (20% MAX. ALLOWED)*	8 x 16	8 x 18	99	189	3	1	1	293	0					
STANDARD ACCESSIBLE SPACES **	8 x 18	9 x 18	7	15	0	0	0	22	22					
VAN ACCESSIBLE SPACES **	8 x 18	9 x 18	2	4	1	1	1	9	9					
TOTAL SPACES			496 ***	948		21	15	1,488	1,693					

* REQUIRED NUMBER OF COMPACT SPACES IS NOT INCLUDED IN THE TOTAL REQUIRED SPACES SUMMATIONS
** ADA/STATE/LOCAL REQUIREMENTS
*** A WAIVER WILL BE REQUESTED IN THE RESIDENTIAL BLOCKS' SUBSEQUENT SPDR APPLICATIONS FOR THE RESIDENTIAL PARKING SINCE THE PUD TOTAL WILL NOT MEET THE REQUIRED PARKING FOR RESIDENTIAL USE. HOWEVER, THE PROJECT IS PROPOSING A TOTAL PARKING SPACES COUNT THAT IS MORE THAN THE REQUIRED TOTAL PARKING SPACES.
**** THE PROPONENT IS REFINING THE TOTAL PARKING PROVIDED TO BE BETWEEN 0.5 - 1 PARKING SPACE PER UNIT FOR RESIDENTIAL USES AND BETWEEN 1 AND 2 PARKING SPACES PER 1,000 S.F. DEPENDING ON THE REQUIREMENTS OF THE SPECIFIC END-USER FOR THE OFFICE/LAB/R&D USES. FURTHER DETAIL WILL BE PROVIDED IN THE SPECIAL PERMIT FOR EACH INDIVIDUAL BLOCK.

Parking Requirements (Per Use):

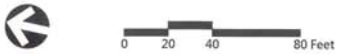
RESIDENTIAL	496 UNIT x 1 SPACES / 1 UNIT =	496 SPACES
OFFICE/LAB/R&D	948,000 SF x 1 SPACES / 1,000 =	948 SPACES
RETAIL	21,000 SF x 1 SPACES / 1,000 =	21 SPACES
RESTAURANT	7,140 SF x 1 SPACES / 500 =	15 SPACES
FIRE	16,000 SF x 1 SPACES / 2,000 =	8 SPACES
TOTAL PARKING REQUIRED		1,488 SPACES

Bicycle Parking Requirements:

RESIDENTIAL UNITS:														
FIRST SEVEN (7) DWELLING UNITS	7 UNITS	x	1 SPACE	/	7 UNITS	=	7 SPACES							
RESIDENTIAL UNITS:	489 UNITS	x	1 SPACE	/	3 UNITS	=	163 SPACES							
REMAINING DWELLING UNITS														
NON-RESIDENTIAL USES:														
FIRST REQUIRED NON-RESIDENTIAL 200 VEHICULAR PARKING SPACES	200 SPACES	x	1 SPACE	/	10 SPACES	=	20 SPACES							
NON-RESIDENTIAL USES:														
REMAINING REQUIRED NON-RESIDENTIAL VEHICULAR PARKING SPACES	792 SPACES	x	1 SPACE	/	20 SPACES	=	40 SPACES							
TOTAL BICYCLE PARKING REQUIRED														
TOTAL BICYCLE PARKING PROVIDED														

Sign Summary

M.U.T.C.D. Number	Specification Width Height	Desc.
R1-1	30" 30"	STOP
R3-2	24" 24"	NO LEFT TURN
R3-SR	24" 30"	ONLY
R4-7	24" 30"	ONE WAY
R7-8	12" 18"	RESERVED PARKING
W11-2	30" 30"	PEDESTRIAN CROSSING
W16-7P	24" 12"	WALK



XMBLY
5 Middlesex Avenue
Somerville, Massachusetts

No.	Revision	Date	Appr.
1	Response to City Comments	4/23/2018	DAH

Not Approved for Construction

Layout and Materials Plan

C-3

04-23-2018

Project Number: 14000.00

GRAND UNION BLVD

BLOCK 23
330,000 GSF
8 STORIES

BLOCK 25
187,000 GSF
17 STORIES

BLOCK 26
140,000 GSF
10 STORIES

BLOCK 24
EXIST OFFICE BLDG
162,000 GSF
4 STORIES

BLOCK 21
662,000 GSF
19 STORIES

MIDDLESEX AVENUE

MYSTIC AVENUE

Zoning Summary Chart

Zoning District(S): Assembly Square Mixed-Use District (ASMD)
Overlay District(S): Planned Unit Development Overlay District A (PUD-A), Medical Marijuana Overlay District

Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	20,000 SF	9.4 Acres
FRONT YARD SETBACK	0 Feet	0.0 Feet (Exist Bldg)
SIDE YARD SETBACK	0 Feet	4.62 Feet
REAR YARD SETBACK	0 Feet	2.78 Feet
MAXIMUM FLOOR AREA RATIO	10.0	3.7
MAXIMUM BUILDING HEIGHT WITHIN 1,000' OF MBTA ENTRANCE	250 Feet	85 Feet
MAXIMUM BUILDING HEIGHT BEYOND 1,000' OF MBTA ENTRANCE	125 Feet	241 Feet
MINIMUM OPEN SPACE	25.0 %	33.9 %
USEABLE OPEN SPACE	12.5 %	21.1 %

Mixed Use Area Loading Requirements:

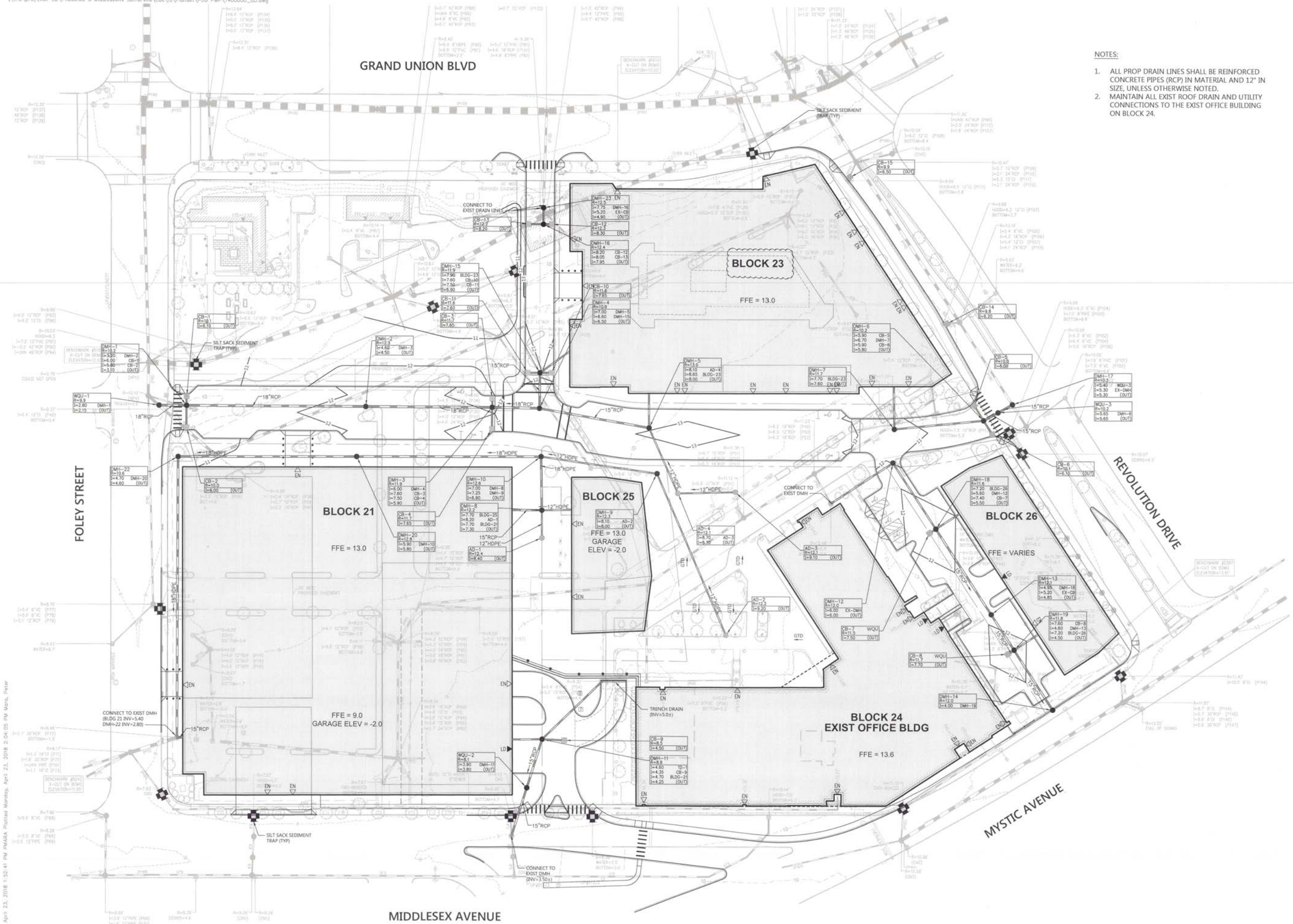
RESIDENTIAL:	0 - 30 BEDS (0) = 8	31 - 100 BEDS (1)
OFFICE/LAB/R&D:	0 - 10,000 SF (0) = 9	10,001 - 100,000 SF (1)
RETAIL:	0 - 5,000 SF (0) = 2	5,001 - 20,000 SF (1)
RESTAURANT:	0 - 4,000 SF (0) = 1	4,001 - 6,000 SF (1)
	6,001 - 16,000 SF (2)	16,001 - 40,000 SF (3)
	40,001 - 100,000 SF (1)	
TOTAL LOADING REQUIRED	20	
TOTAL LOADING PROVIDED	8	



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

NOTES:

1. ALL PROP DRAIN LINES SHALL BE REINFORCED CONCRETE PIPES (RCP) IN MATERIAL AND 12" IN SIZE, UNLESS OTHERWISE NOTED.
2. MAINTAIN ALL EXIST ROOF DRAIN AND UTILITY CONNECTIONS TO THE EXIST OFFICE BUILDING ON BLOCK 24.



0 20 40 80 Feet

XMBLY
5 Middlesex Avenue
Somerville, Massachusetts

No.	Revision	Date	Appr.
1	Response to City Comments	4/23/2018	DMH

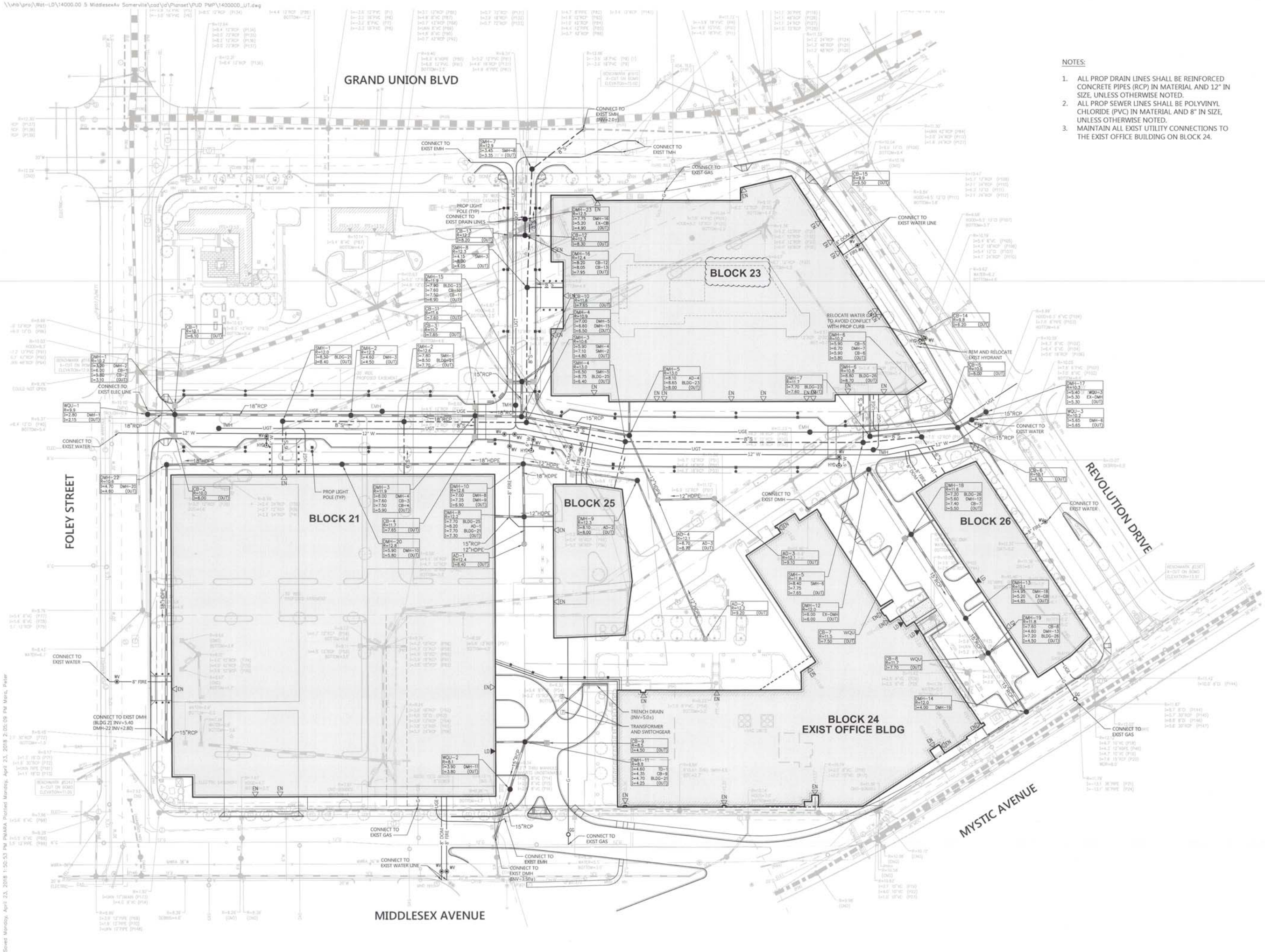
Designed by	Checked by
Issued for	Date
PUD-PMP	March 15, 2018

Not Approved for Construction
Grading and
Drainage Plan



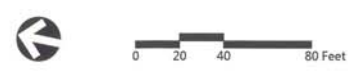
C-4

04 08



- NOTES:
1. ALL PROP DRAIN LINES SHALL BE REINFORCED CONCRETE PIPES (RCP) IN MATERIAL AND 12" IN SIZE, UNLESS OTHERWISE NOTED.
 2. ALL PROP SEWER LINES SHALL BE POLYVINYL CHLORIDE (PVC) IN MATERIAL AND 8" IN SIZE, UNLESS OTHERWISE NOTED.
 3. MAINTAIN ALL EXIST UTILITY CONNECTIONS TO THE EXIST OFFICE BUILDING ON BLOCK 24.

vhb
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



XMBLY
5 Middlesex Avenue
Somerville, Massachusetts

No.	Revision	Date	App'd
1	Response to City Comments	4/23/2018	DAH

Designed by: _____ Checked by: _____
Issued for: _____ Date: _____
PUD-PMP March 15, 2018

Not Approved for Construction

Utilities Plan

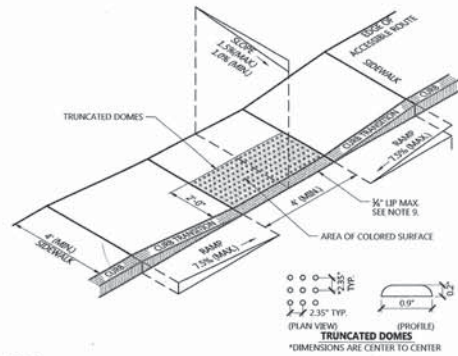
Drawing Number

C-5

Sheet 05 of 08

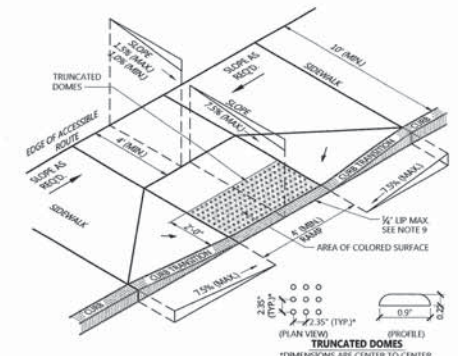
Project Number: 14000.00

04-23-2018



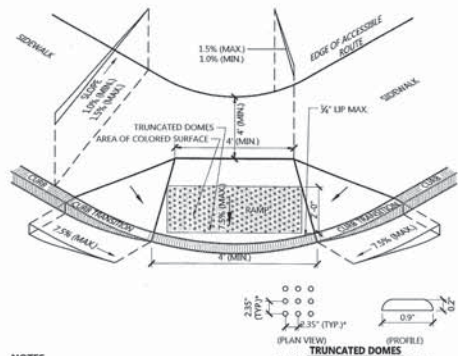
- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH WHERE IT ABUTS ROADWAY).
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'A-D' 1/16
N.T.S. Source: VHB LD_500



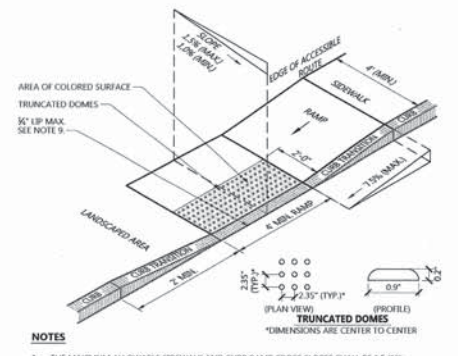
- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'D-D' 1/16
N.T.S. Source: VHB LD_503



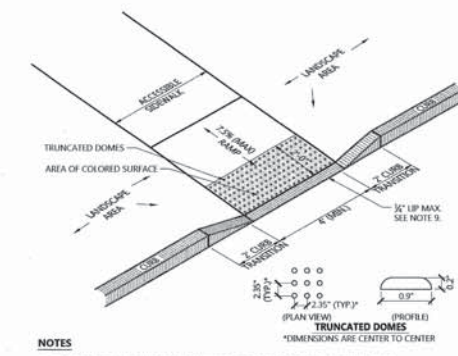
- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
 12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) Type 'E-D' 1/16
N.T.S. Source: VHB LD_504



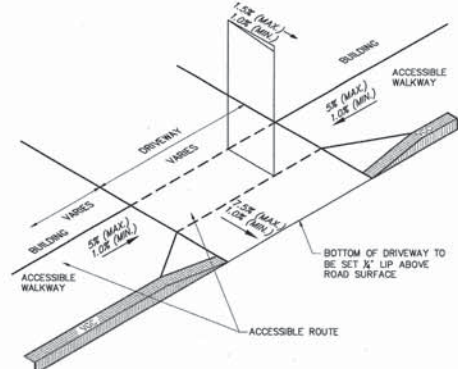
- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
 12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) Type 'G-D' 1/16
N.T.S. Source: VHB LD_506



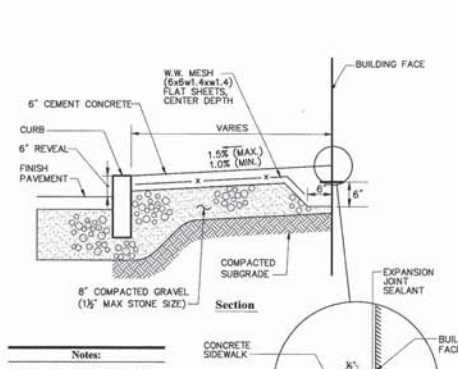
- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH WHERE IT ABUTS ROADWAYS.
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'M-D' 1/16
N.T.S. Source: VHB LD_512



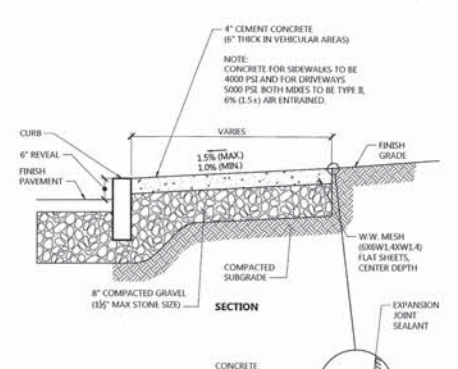
- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.

Driveway Apron with Sidewalk 12/24
N.T.S. Source: VHB LD_402



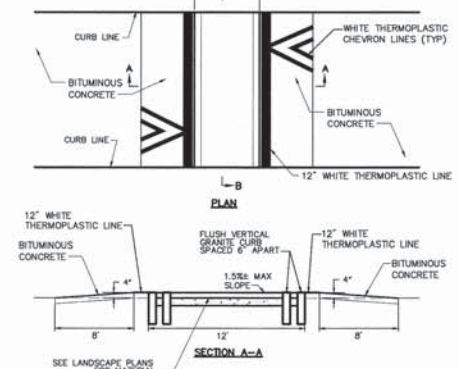
- Notes:**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER. 3/4\"/>

Concrete Sidewalk at Building Face 8/28
N.T.S. Source: VHB REV LD_420



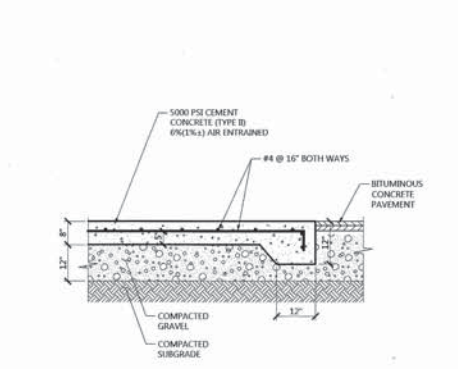
- NOTES**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
 2. AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
 3. PROVIDE TOoled CONTROL JOINTS AT 6' O.C.
 4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

Concrete Sidewalk 1/16
N.T.S. Source: VHB LD_420



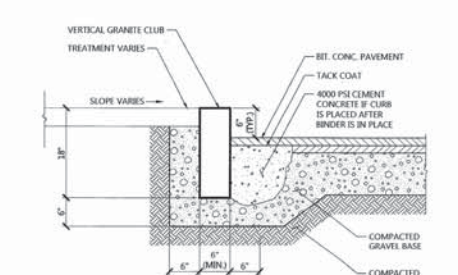
- NOTES**
1. STAKING IS NOT REQUIRED FOR TREES UNDER 3\"/>

Raised Roadway 1/18
N.T.S. Source: VHB LD_718

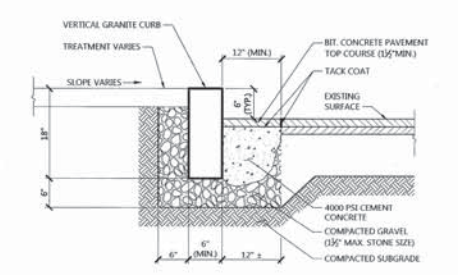


- NOTES**
1. SIZE OF PAD TO BE AS INDICATED ON PLANS.
 2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

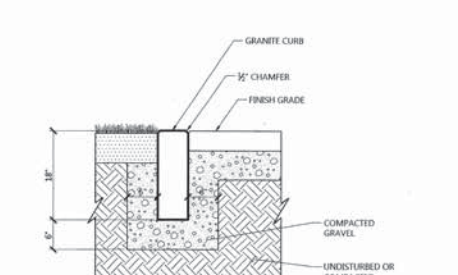
Loading Dock Pad 1/16
N.T.S. Source: VHB LD_711



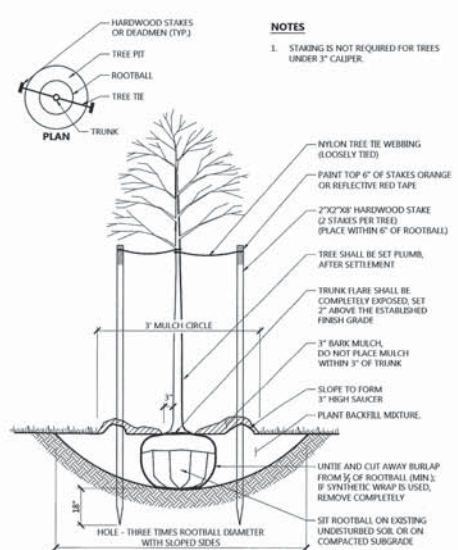
Vertical Granite Curb (VGC) 1/16
N.T.S. Source: VHB LD_402



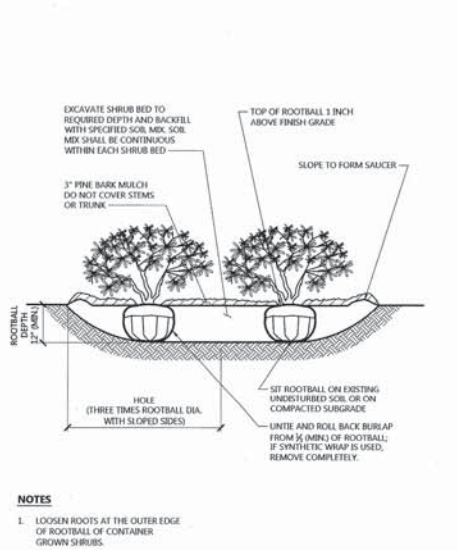
Vertical Granite Curb (VGC) Set In Existing Pavement 1/16
N.T.S. Source: VHB LD_403



Flush Granite Curb 1/16
N.T.S. Source: VHB LD_409



Tree Planting (For Trees Under 4\"/>



Shrub Bed Planting 1/16
N.T.S. Source: VHB LD_601



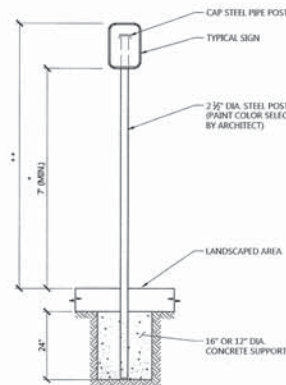
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

PROPOSED FULL DEPTH PAVEMENT

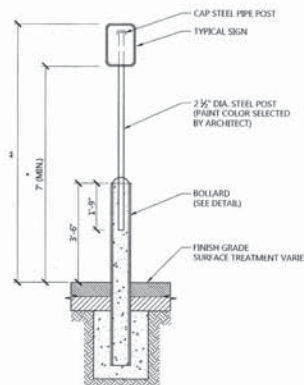
SURFACE: 4" HOT MIX ASPHALT
(2" SURFACE COURSE TYPE B OVER
2" INTERMEDIATE COURSE TYPE B).

SUB-BASE: 4" HOT MIX ASPHALT BASE
COURSE MATERIAL PLACED IN ONE COURSE
FOR SUB-BASE OVER

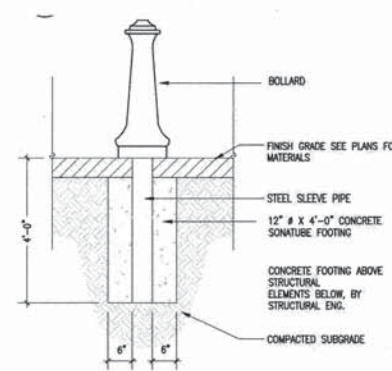
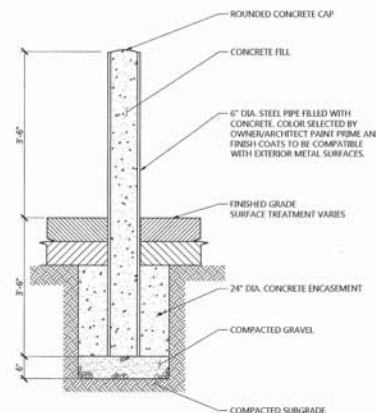
BASE: 8" GRAVEL BORROW, TYPE B.
BITUMEN FOR TACK COAT (RS-1) AT
0.05 GAL/SY OVER BASE AND BINDER COURSES



- * THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
- * THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.



- * THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
- * THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.



Notes:
DECORATIVE BOLLARDS TO BE MANUFACTURED BY FAIRWEATHER SITE FURNISHINGS, MODEL B-88 SERIES (OR OWNER/ARCHITECT APPROVED EQUIVALENT), WITH A POWDERCOAT FINISH, COLOR TO BE BLACK, AND HAVE AN EMBEDDED MOUNT.

Bituminous Concrete Pavement Section

N.T.S. Source: VHB 1/16 LD. 701

Sign Post - Type 'A'

N.T.S. Source: VHB 1/16 LD. 701

Bollard Mounted Sign

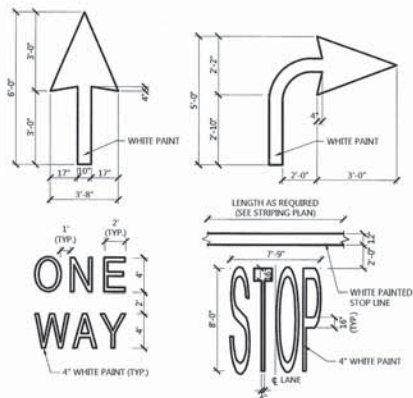
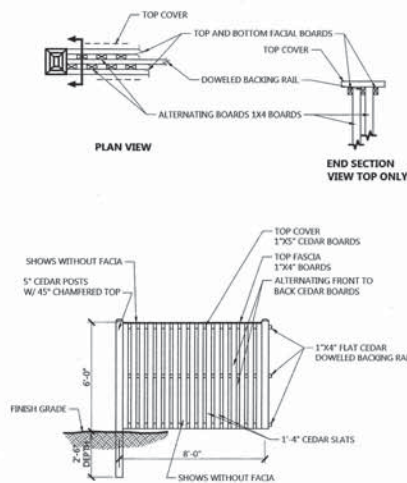
N.T.S. Source: VHB 1/16 LD. 703

Bollard

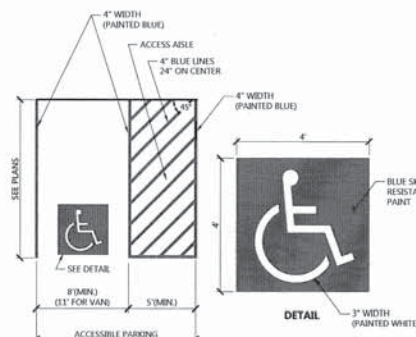
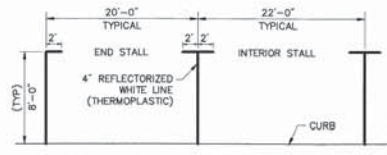
N.T.S. Source: VHB 1/16 LD. 700

Decorative Bollard

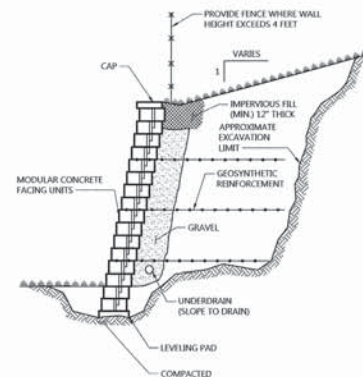
N.T.S. Source: VHB



- NOTES**
1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.



- NOTES**
1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
 2. IF STALL WIDTH REFERS TO 8" CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND ASLE AREAS SHALL NOT EXCEED 1.5%.



- NOTES**
- DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. STAMPED FINAL DESIGN OF MODULAR WALL SYSTEM TO BE PROVIDED BY WALL MANUFACTURER BASED ON GEOTECHNICAL ENGINEERS RECOMMENDATIONS.

Shadowbox Fence

N.T.S. Source: VHB 1/16 LD. 474

Painted Pavement Markings - On Site

N.T.S. Source: VHB 1/16 LD. 554

Parking Stall Markings

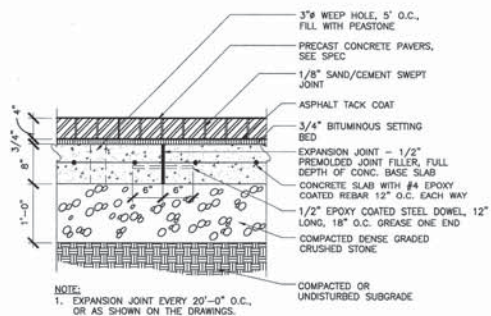
N.T.S. Source: VHB 1/16 PM-01

Accessible Parking Space

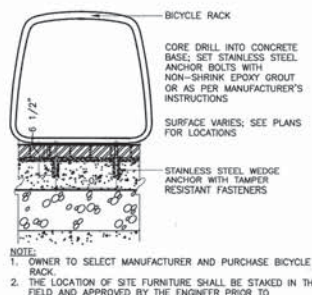
N.T.S. Source: VHB 1/16 LD. 552

Modular Retaining Wall

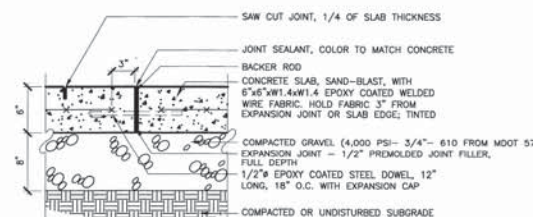
N.T.S. Source: VHB 1/16 LD. 750



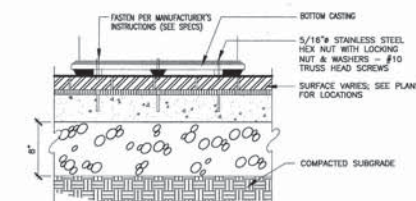
UNIT PAVERS ON VEHICULAR BASE
SCALE: 1"=1'-0"



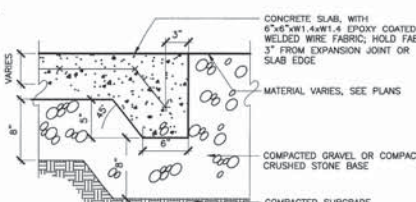
BICYCLE RACK MOUNTING
SCALE: 1"=1'-0"



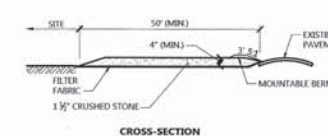
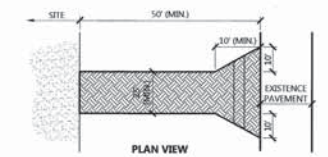
6" CONCRETE PAVEMENT
SCALE: 1-1/2"=1'-0"



TRASH RECEPTACLE MOUNTING
SCALE: 1-1/2"=1'-0"



CONCRETE PAVEMENT THICKENED EDGE
SCALE: 1-1/2"=1'-0"



- NOTES**
1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. REPAIR SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit

N.T.S. Source: VHB 1/16 LD. 682

XMBLY
5 Middlesex Avenue
Somerville, Massachusetts

No.	Revision	Date	App'd.

Designed by: _____ Checked by: _____

Issued for: _____ Date: _____

PUD-PMP March 15, 2018

Not Approved for Construction
Site Details



Sheet 07 of 08

Project Number
14000.00

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER OF 2017 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN OCTOBER 2017.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NGVD OF 1929.
- 5) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 6) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.
- 7) PROPERTY LINES WITHIN THE PARCEL ARE PROPOSED AND ARE BASED ON LAND COURT CASE PLAN 11592M. WE COULD NOT LOCATE LAND COURT CASE PLAN 11592L.

- ### Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HANDHOLE
- ELECTRIC BOX
- ELECTRIC UF PLUG BOX
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- WATER IRRIGATION VALVE
- BOLLARD w/LIGHT
- PARKING METER
- STREET SIGN
- STREET LIGHT SIGNAL
- PEDESTRIAN LIGHT SIGNAL
- ☆ LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- BOLLARD LIGHT
- WELL
- MARSH
- DOOR/ENTRANCE
- FINISHED FLOOR ELEVATION
- NO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- KN ELEVATION UNKNOWN
- LI DOUBLE YELLOW LINE
- LI DASHED WHITE LINE
- LI SINGLE WHITE LINE
- SA LANDSCAPED AREA
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- METAL GUARDRAIL
- WOOD GUARDRAIL
- WOOD FENCE
- CHAIN LINK FENCE
- WROUGHT IRON FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE

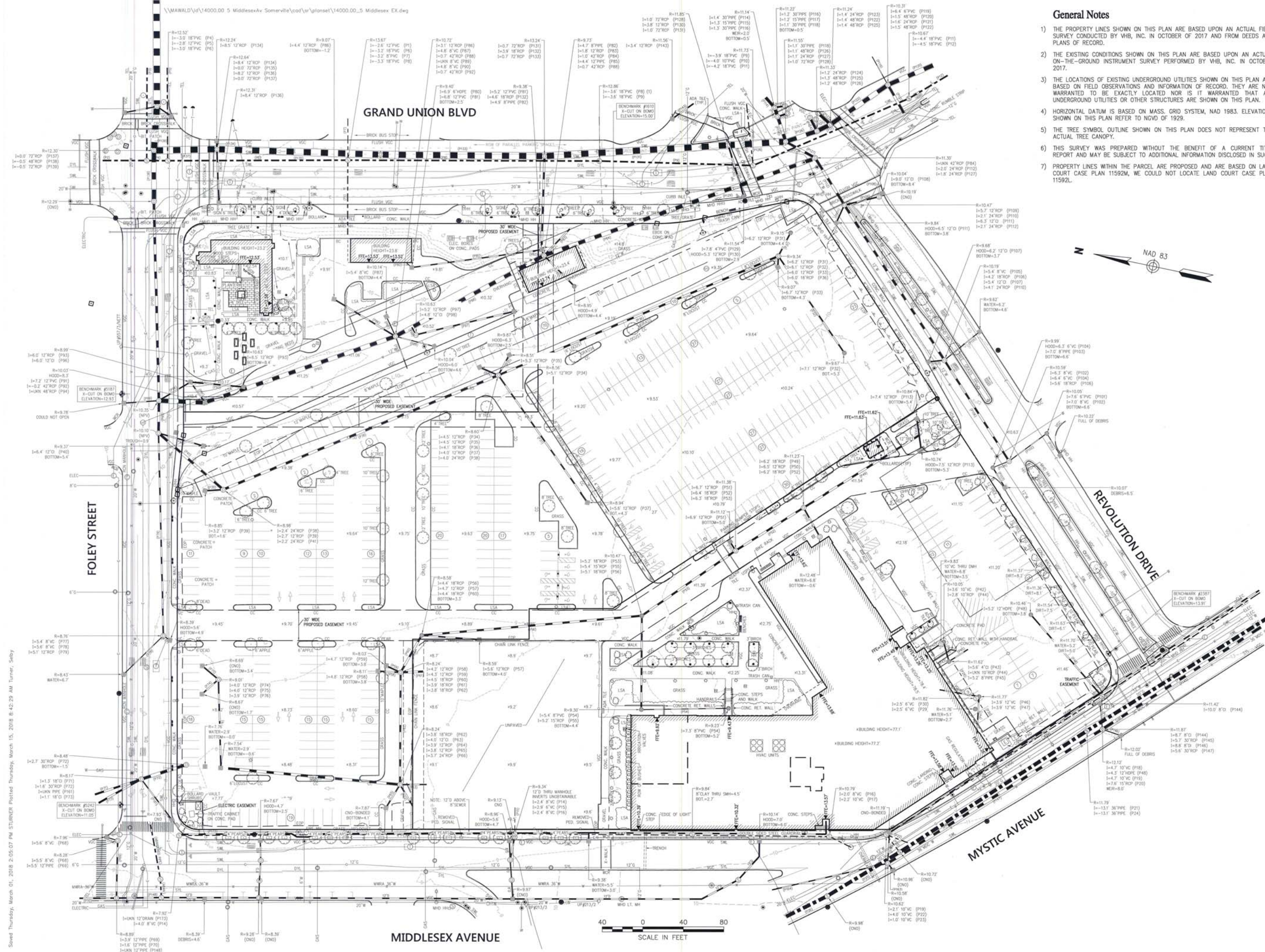
5 Middlesex Avenue
Somerville, Massachusetts

[illegible]

November 28, 2017

Sv-1

1	1
Project Number	
4000.00	



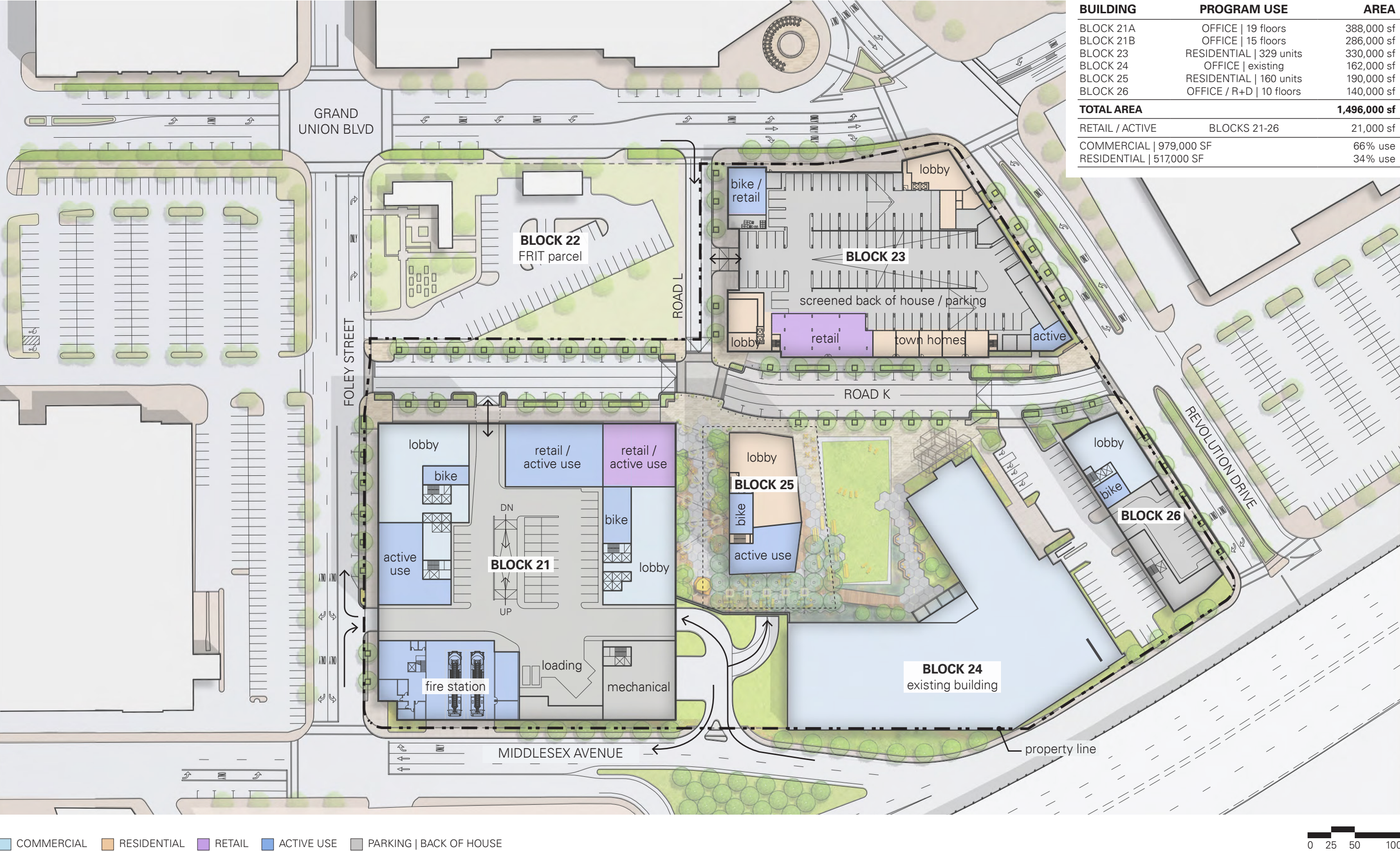
Ref: 14000.00
April 23, 2018



Memorandum

➤ **Transportation Elements Plan**

FIGURE 3.4 - GROUND FLOOR PLAN




Ref: 14000.00
April 23, 2018





Memorandum

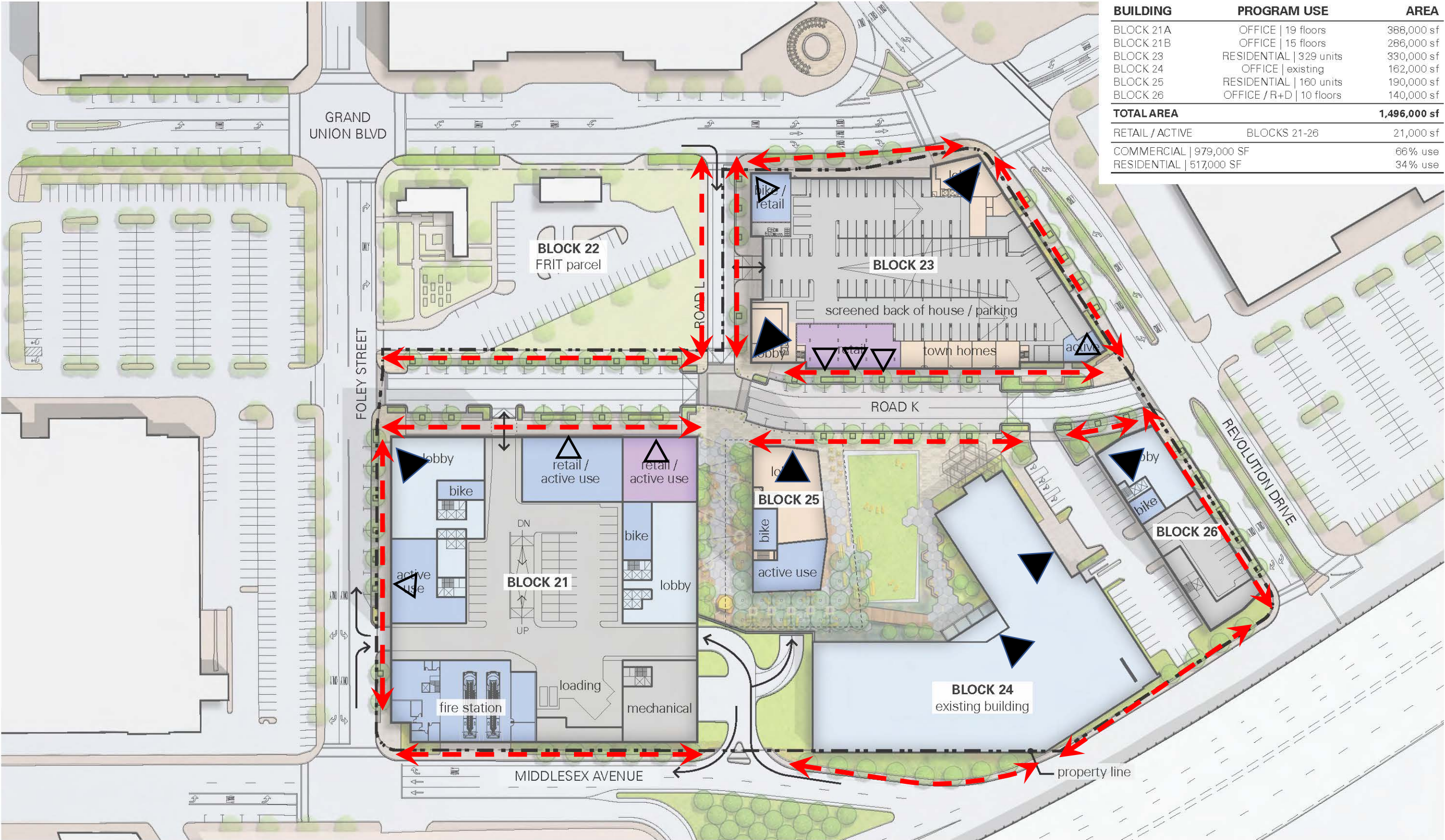
➤ **Pedestrian Access Plan**

Pedestrian Access Plan


Principal Building Entrance (general location; see architectural plans for detail)


Secondary Building Entrance (general location; see architectural plans for detail)


Sidewalk locations (abutting Site roadways)



BUILDING	PROGRAM USE	AREA
BLOCK 21A	OFFICE 19 floors	388,000 sf
BLOCK 21B	OFFICE 15 floors	286,000 sf
BLOCK 23	RESIDENTIAL 329 units	330,000 sf
BLOCK 24	OFFICE existing	162,000 sf
BLOCK 25	RESIDENTIAL 160 units	190,000 sf
BLOCK 26	OFFICE / R+D 10 floors	140,000 sf
TOTAL AREA		1,496,000 sf
RETAIL / ACTIVE	BLOCKS 21-26	21,000 sf
COMMERCIAL 979,000 SF		66% use
RESIDENTIAL 517,000 SF		34% use

COMMERCIAL RESIDENTIAL RETAIL ACTIVE USE PARKING | BACK OF HOUSE



Ref: 14000.00
April 23, 2018



Memorandum

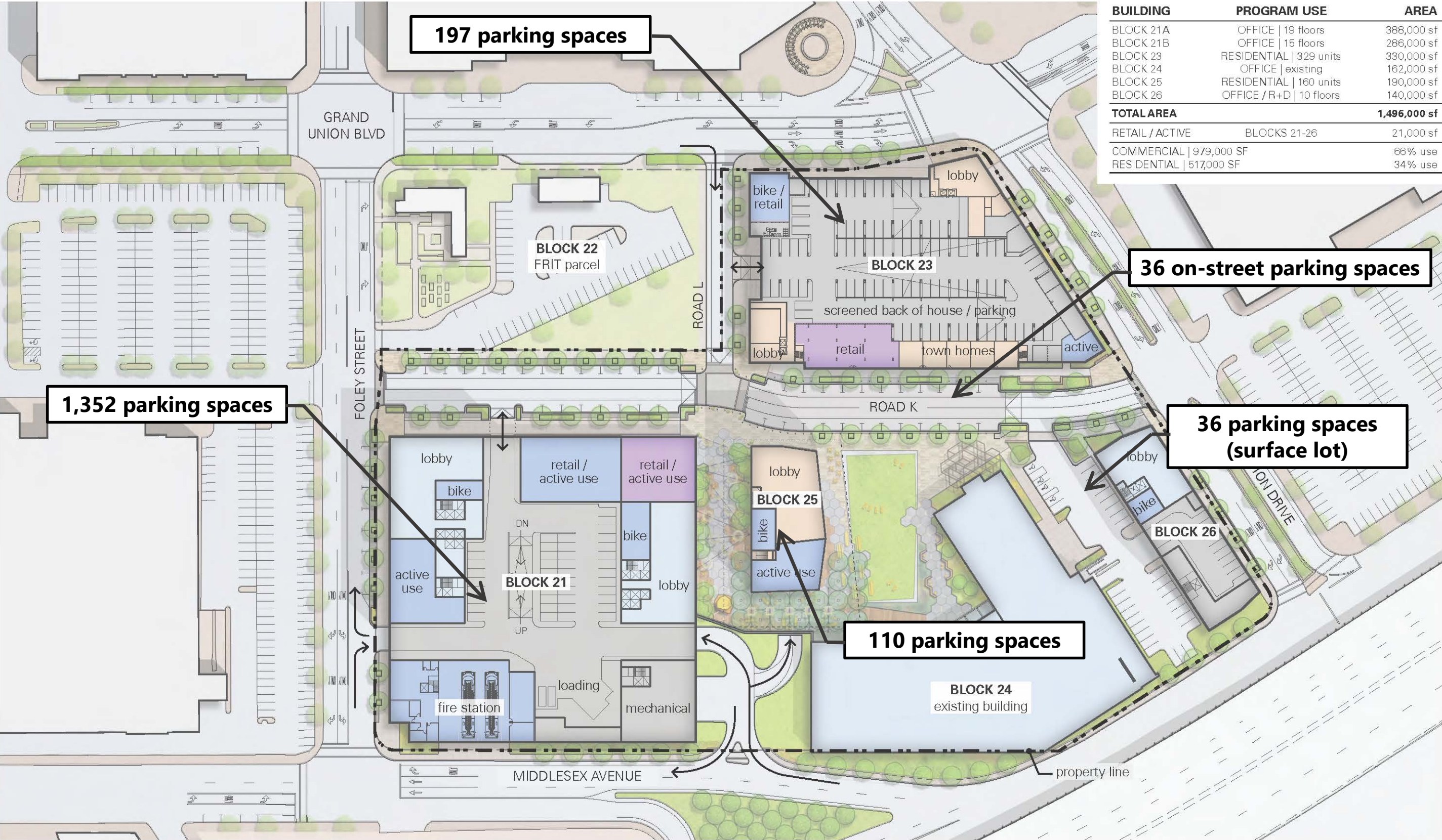
➤ **Motor Vehicle Parking Plan**

Motor Vehicle Parking Plan

Principal Building Entrance (general location; see architectural plans for detail)

Secondary Building Entrance (general location; see architectural plans for detail)

Sidewalk locations (abutting Site roadways)

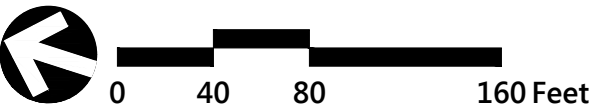
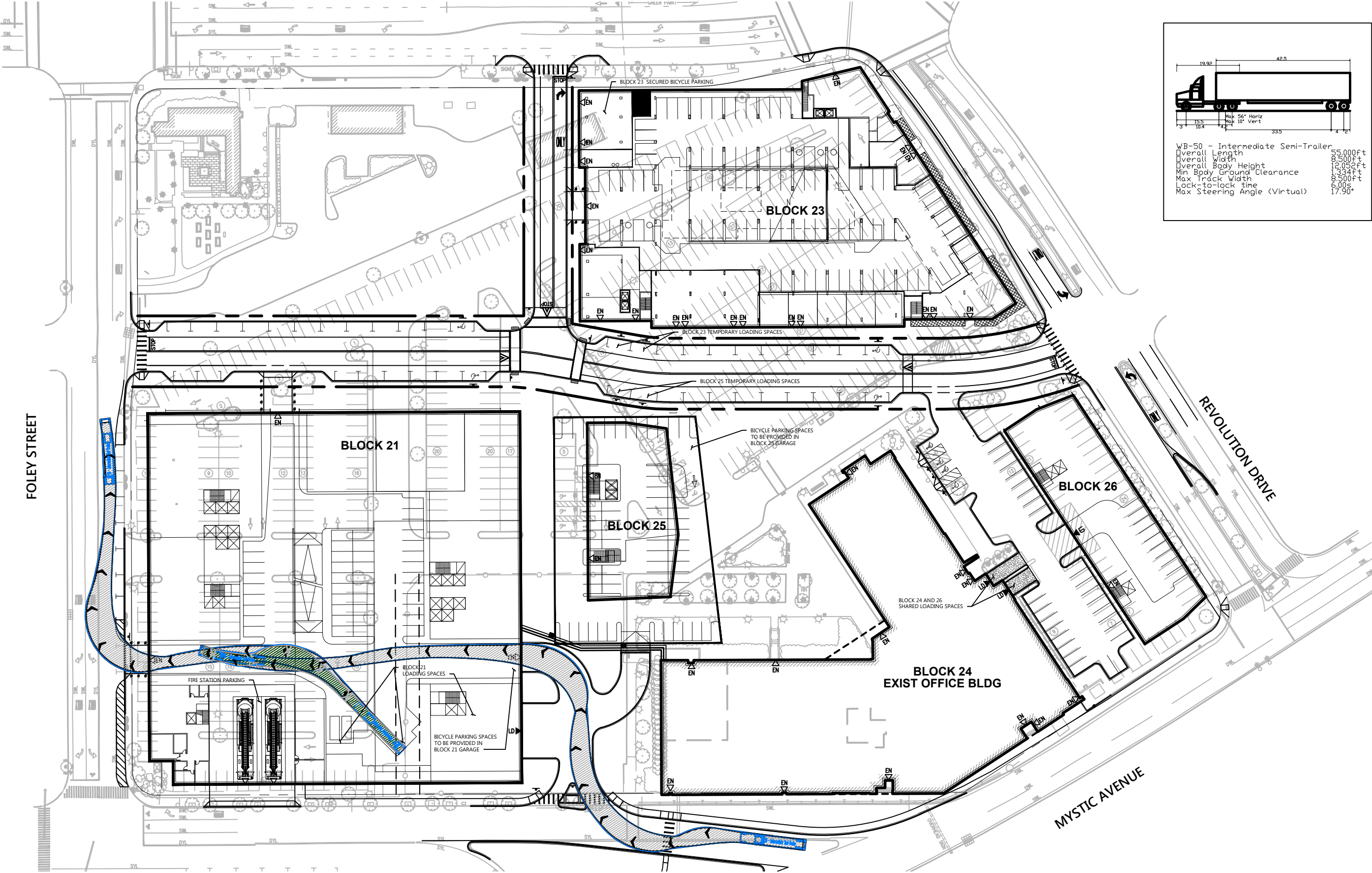


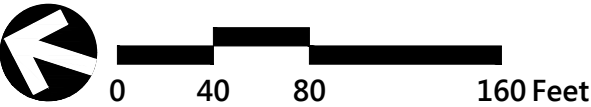
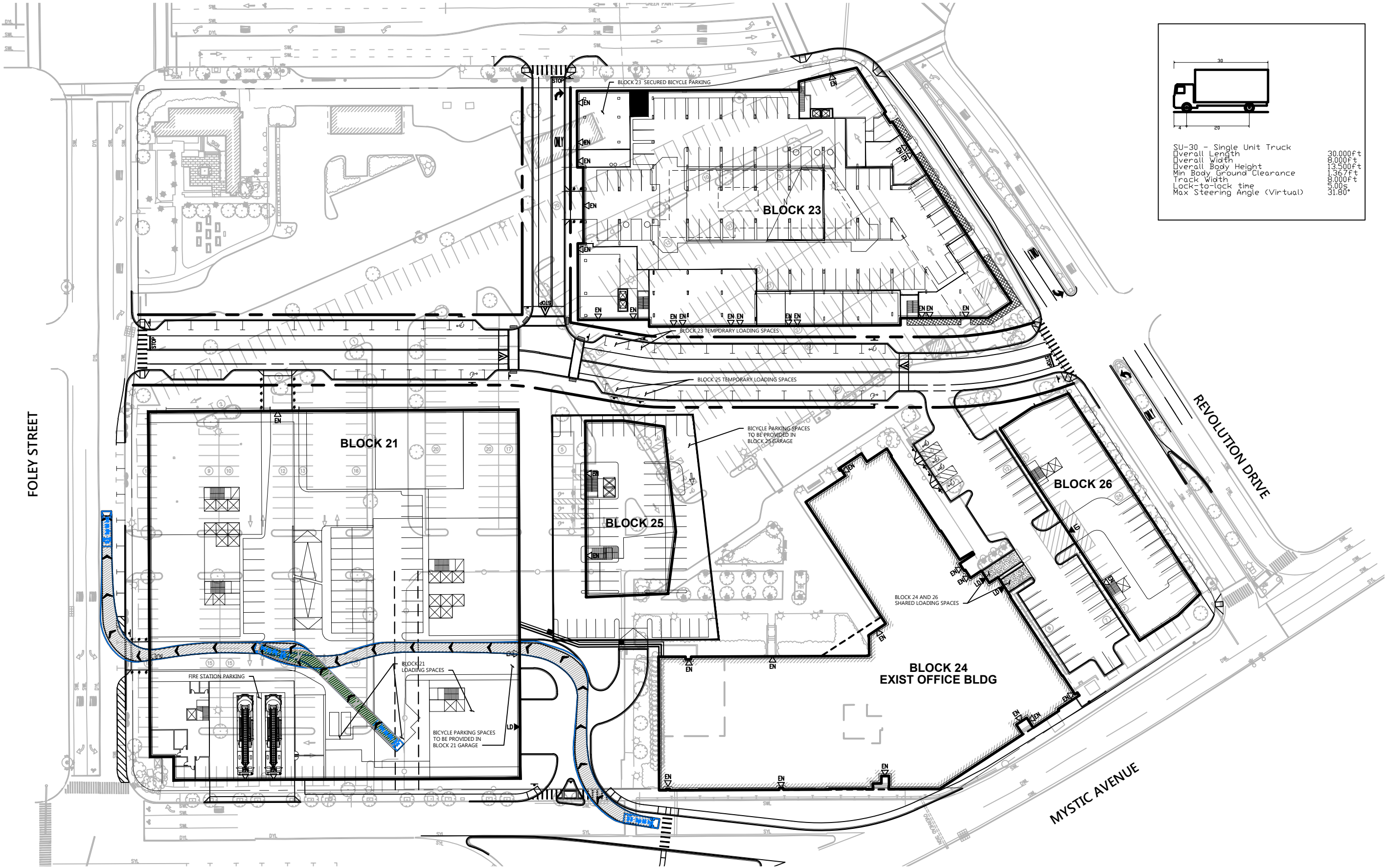
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April 23, 2018

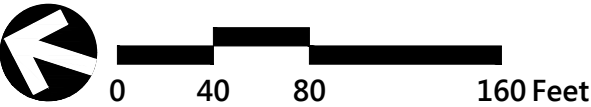
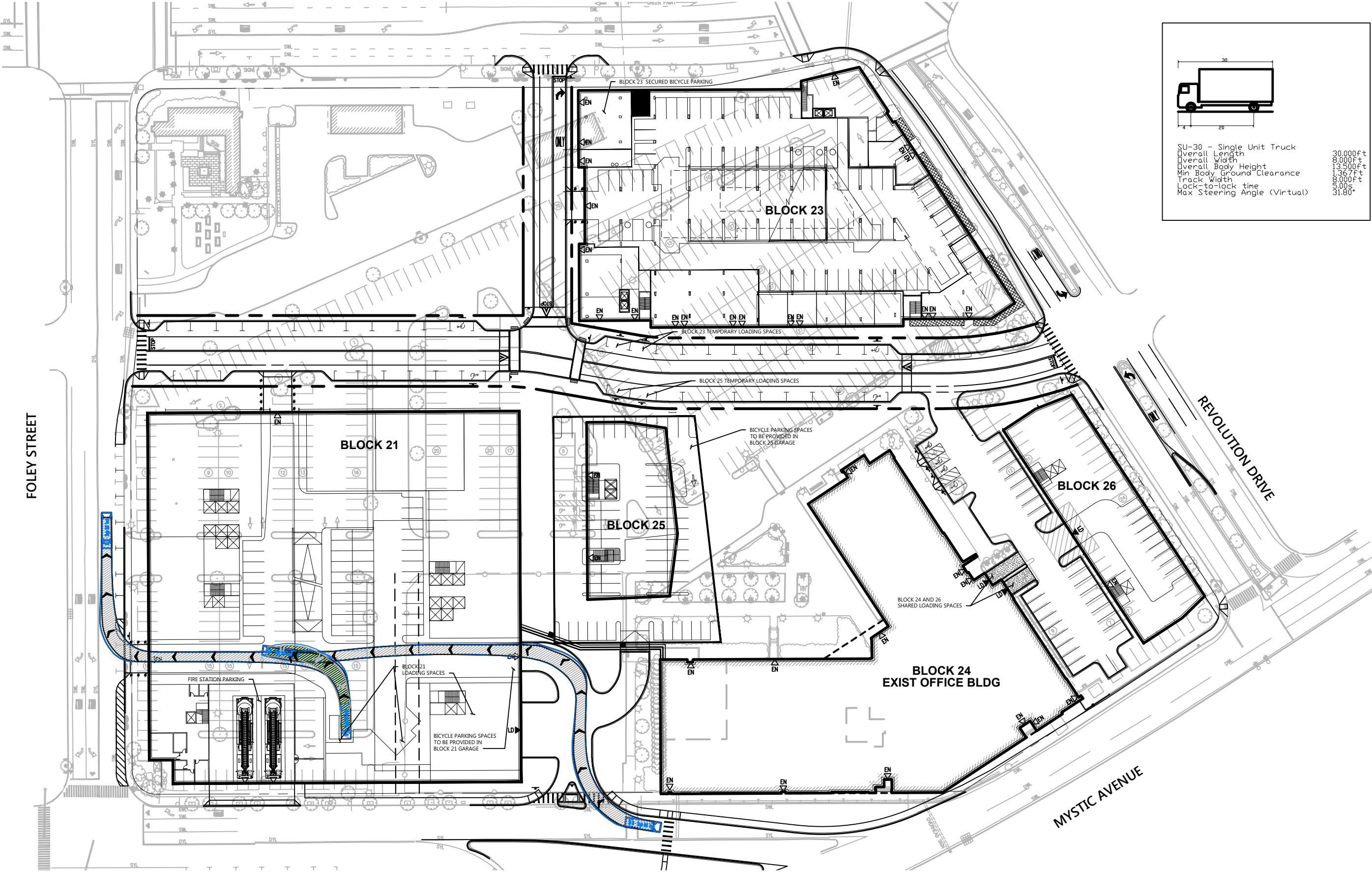


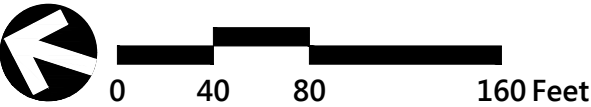
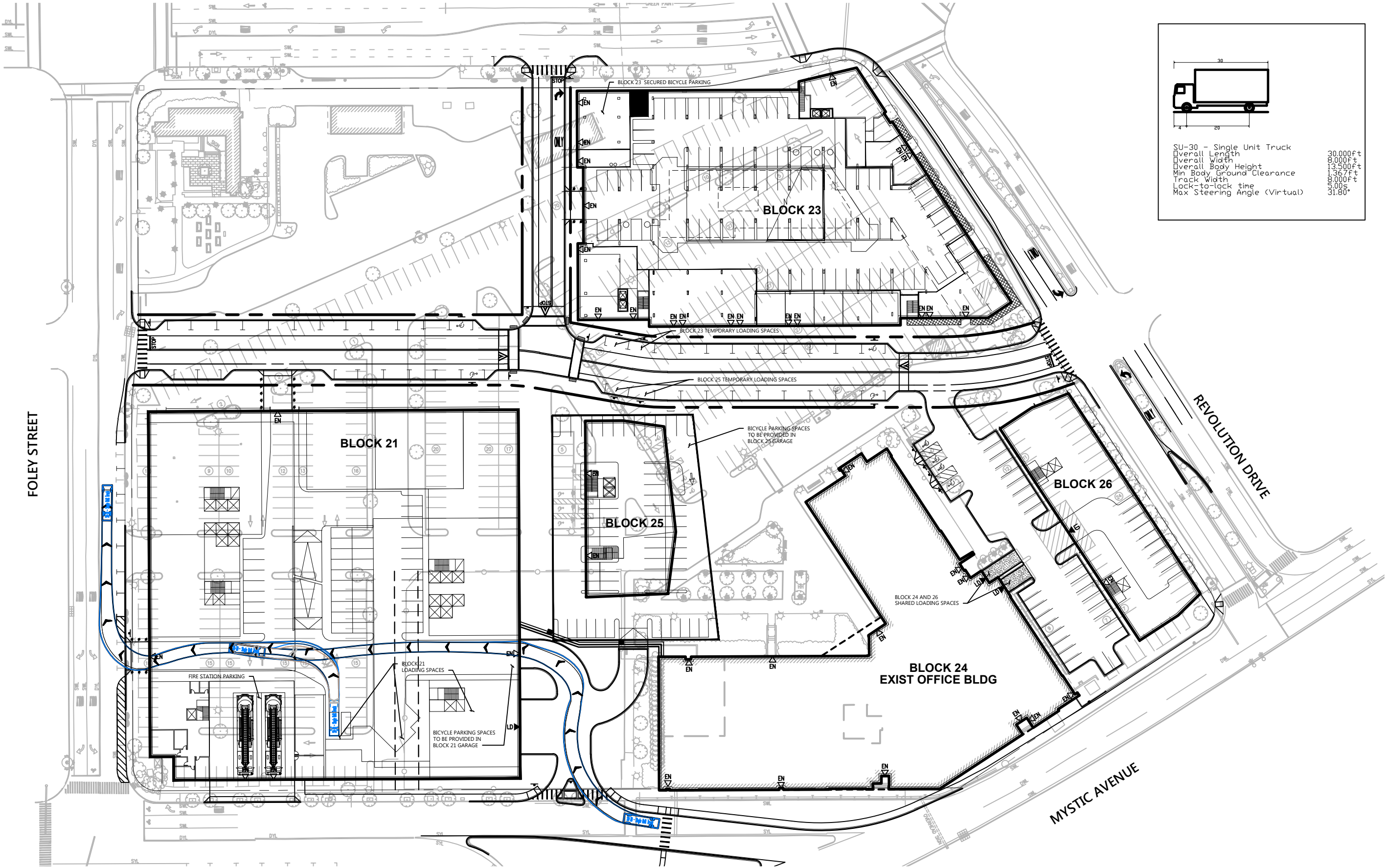
Memorandum

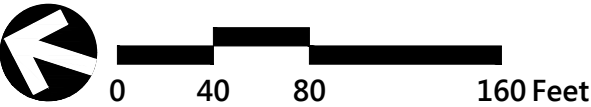
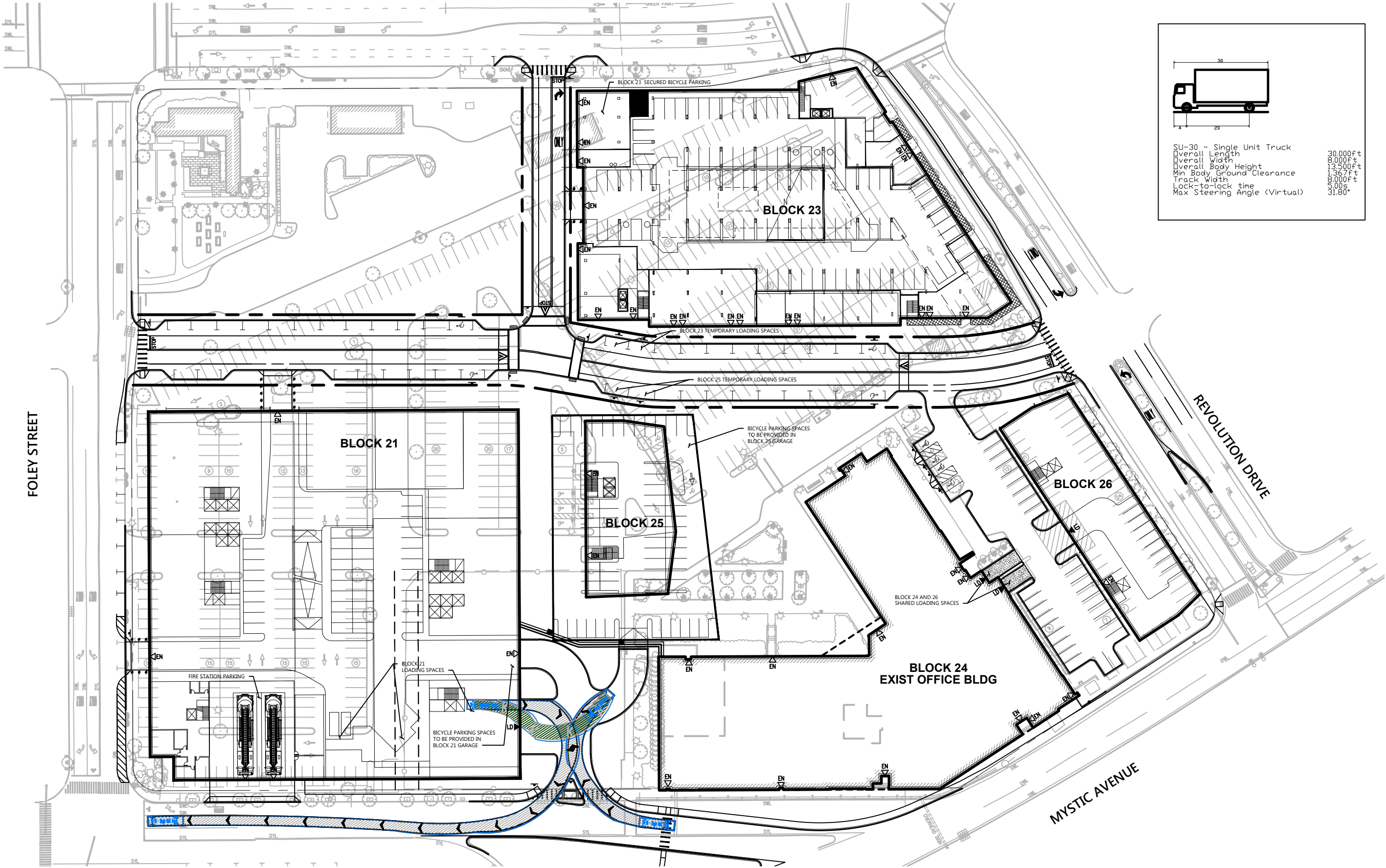
➤ **Vehicle Tracking Diagrams – March 15, 2018**

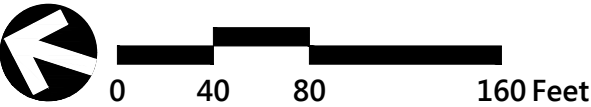
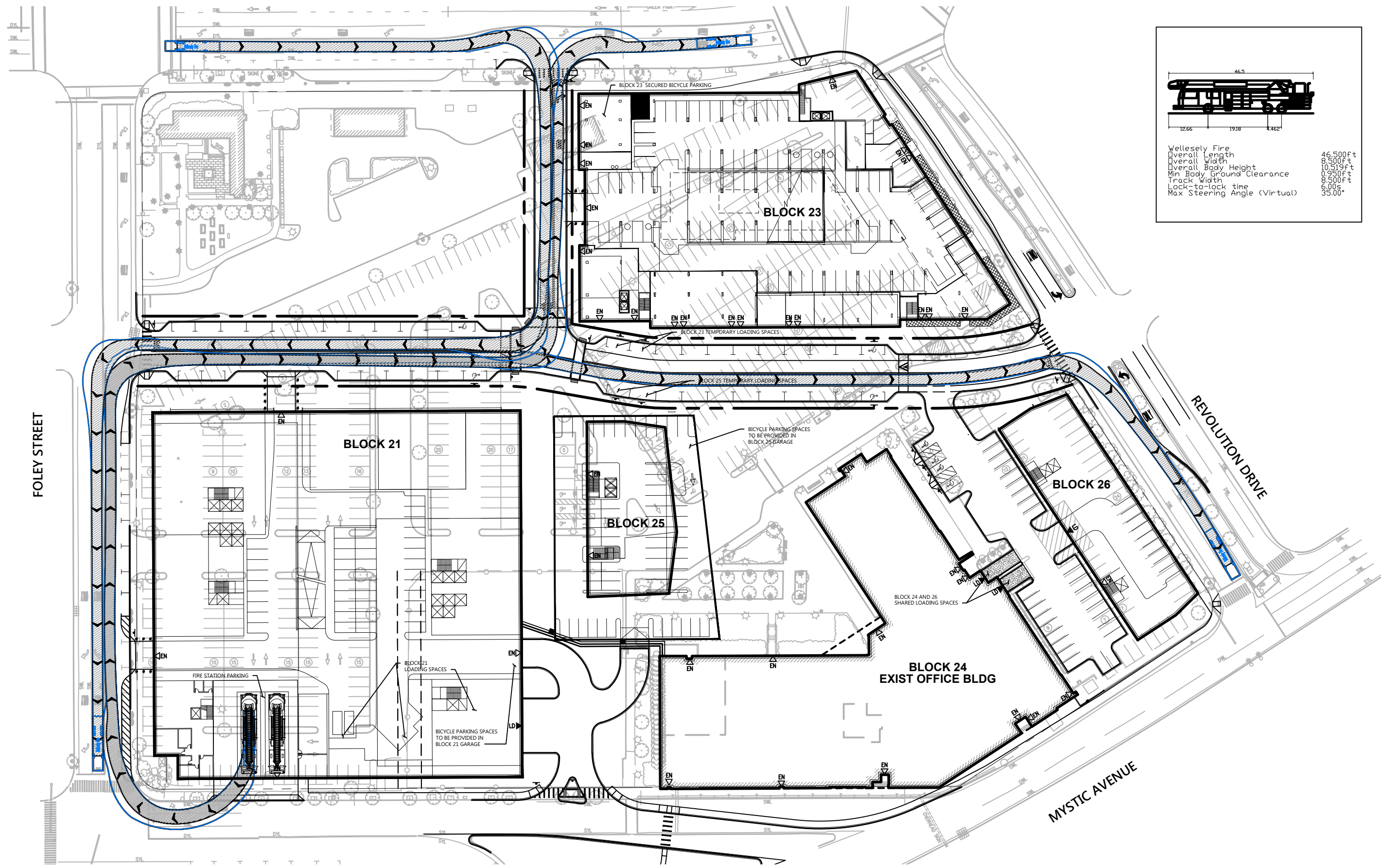


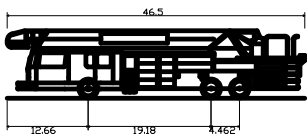
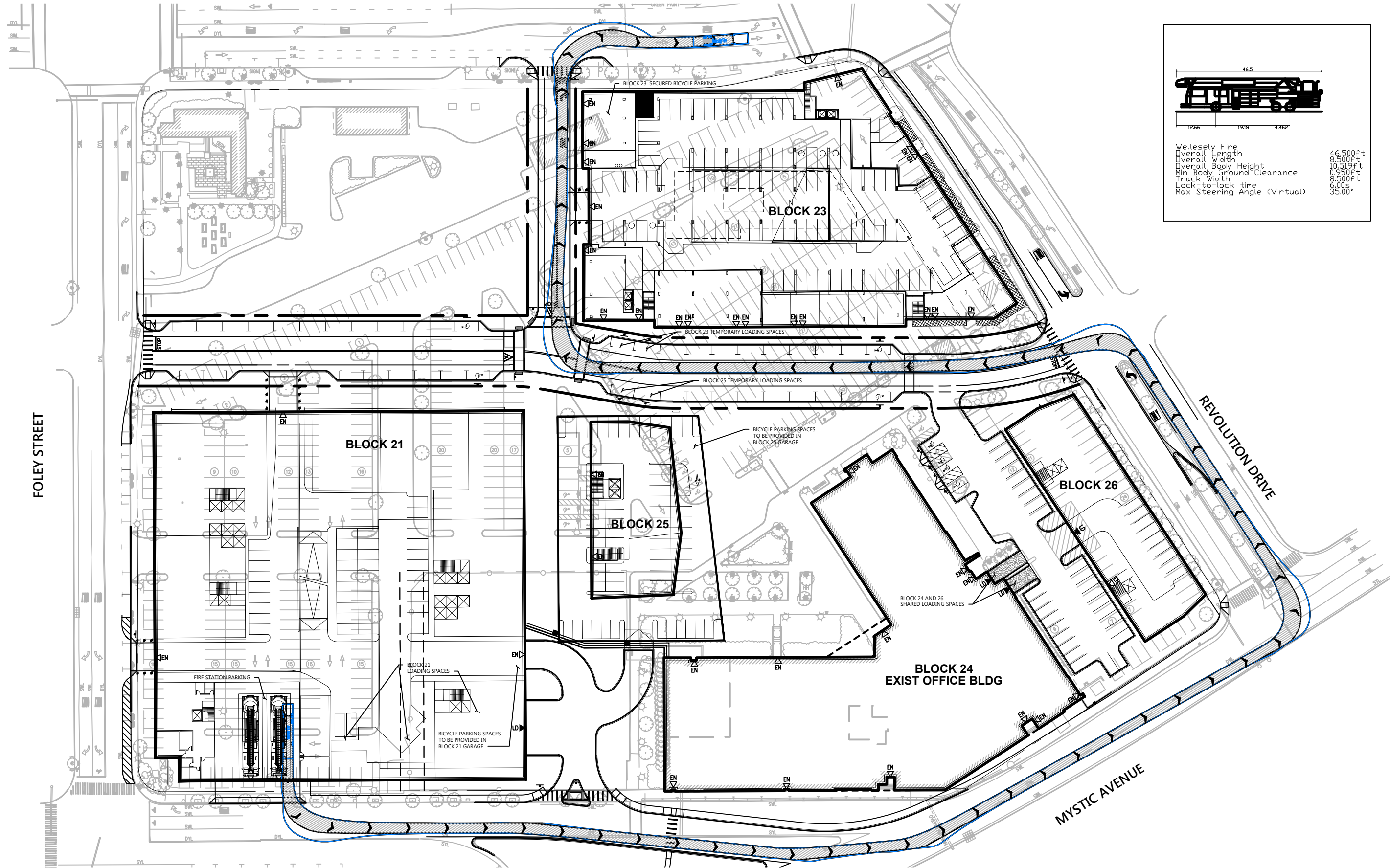




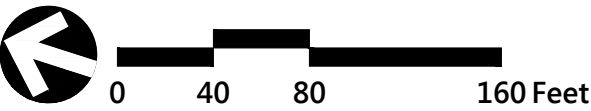


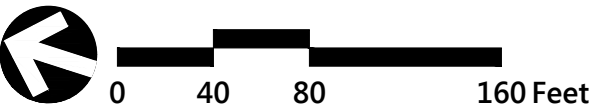
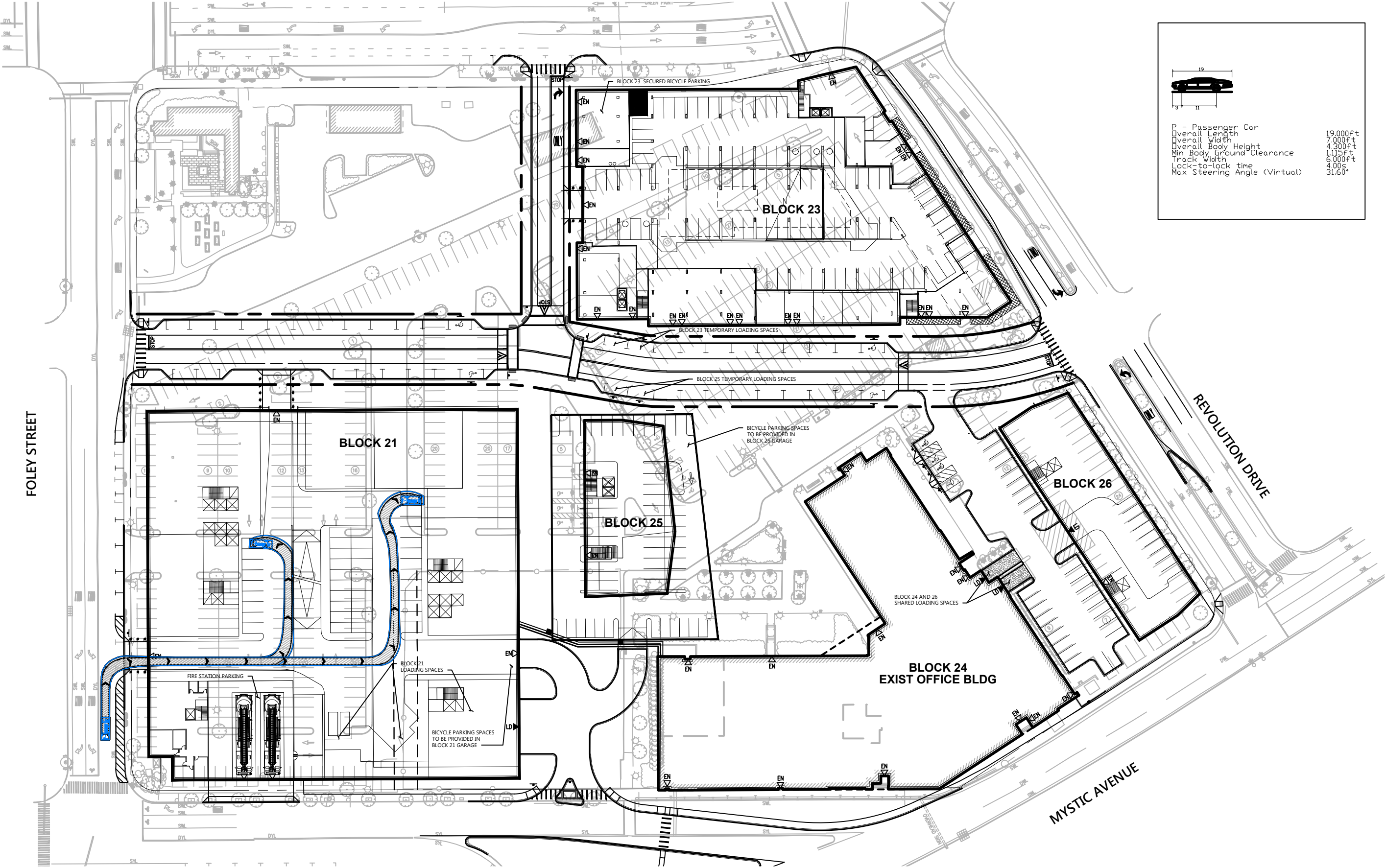


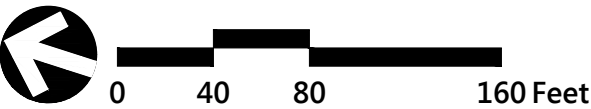
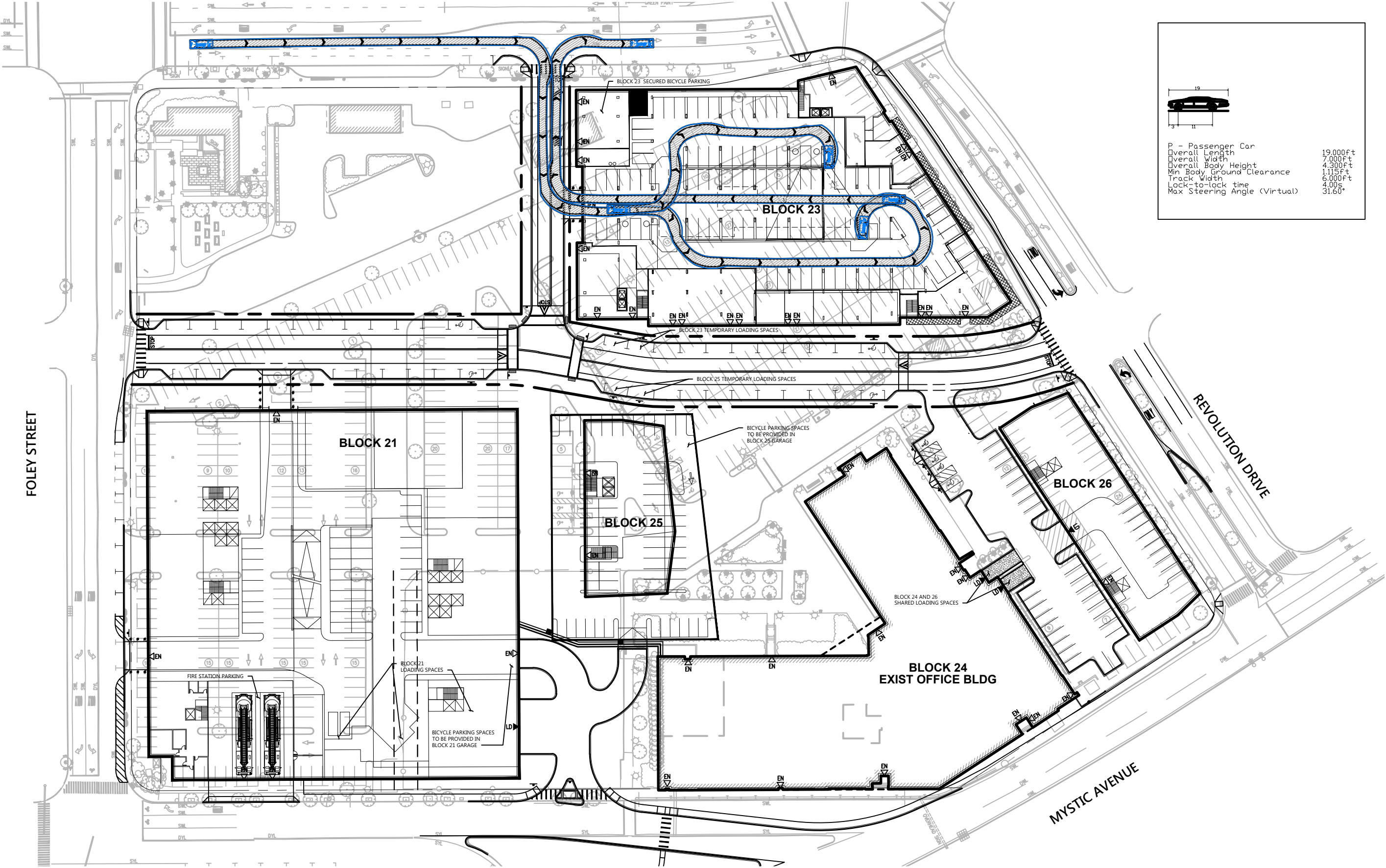


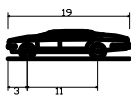
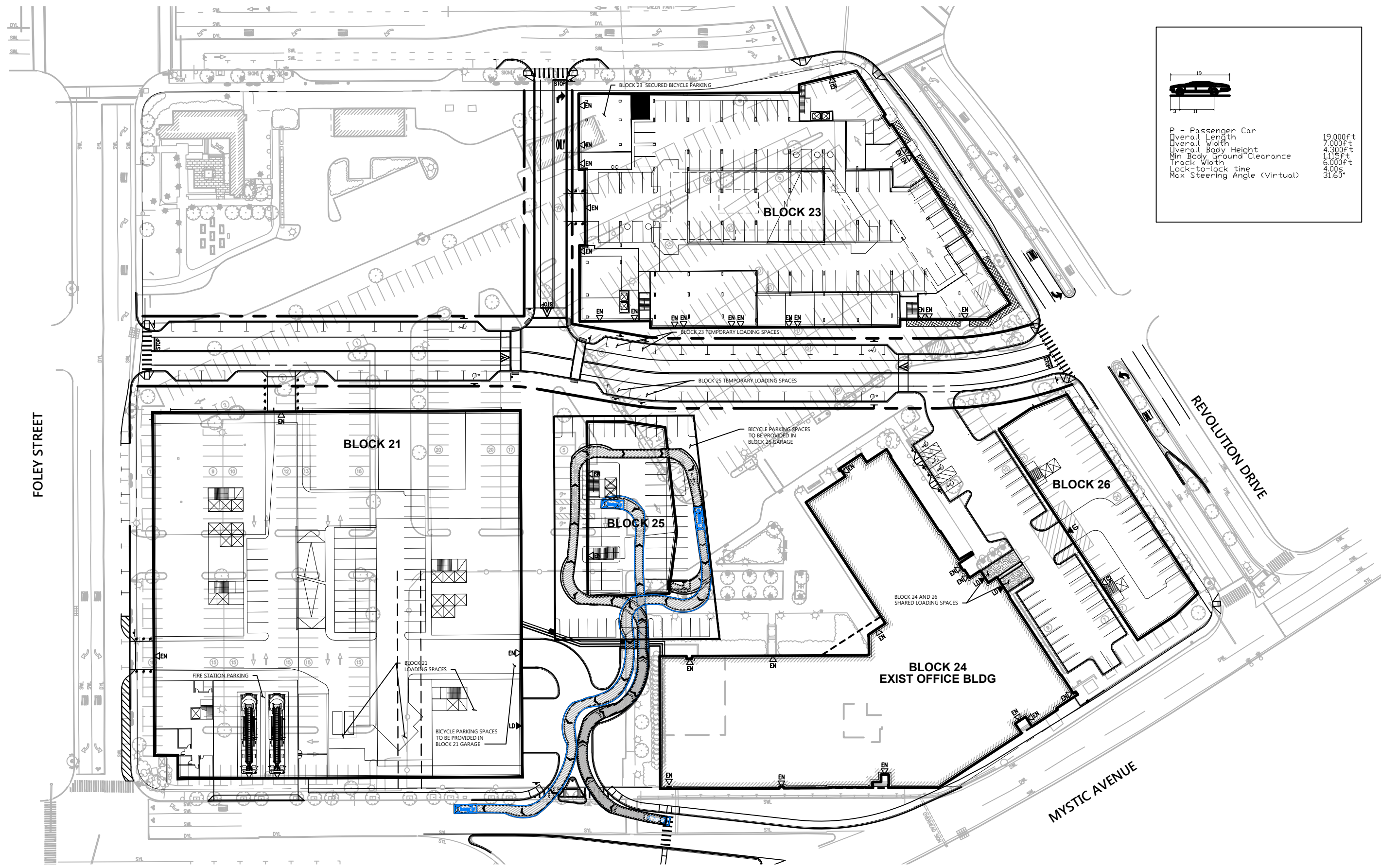


Wellesely Fire
Overall Length 46.500ft
Overall Width 12.660ft
Overall Body Height 19.180ft
Min Body Ground Clearance 4.462ft
Track Width 8.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 35.00°

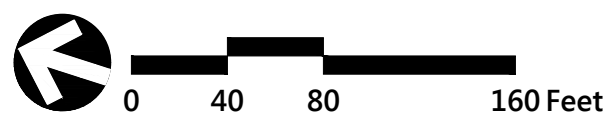






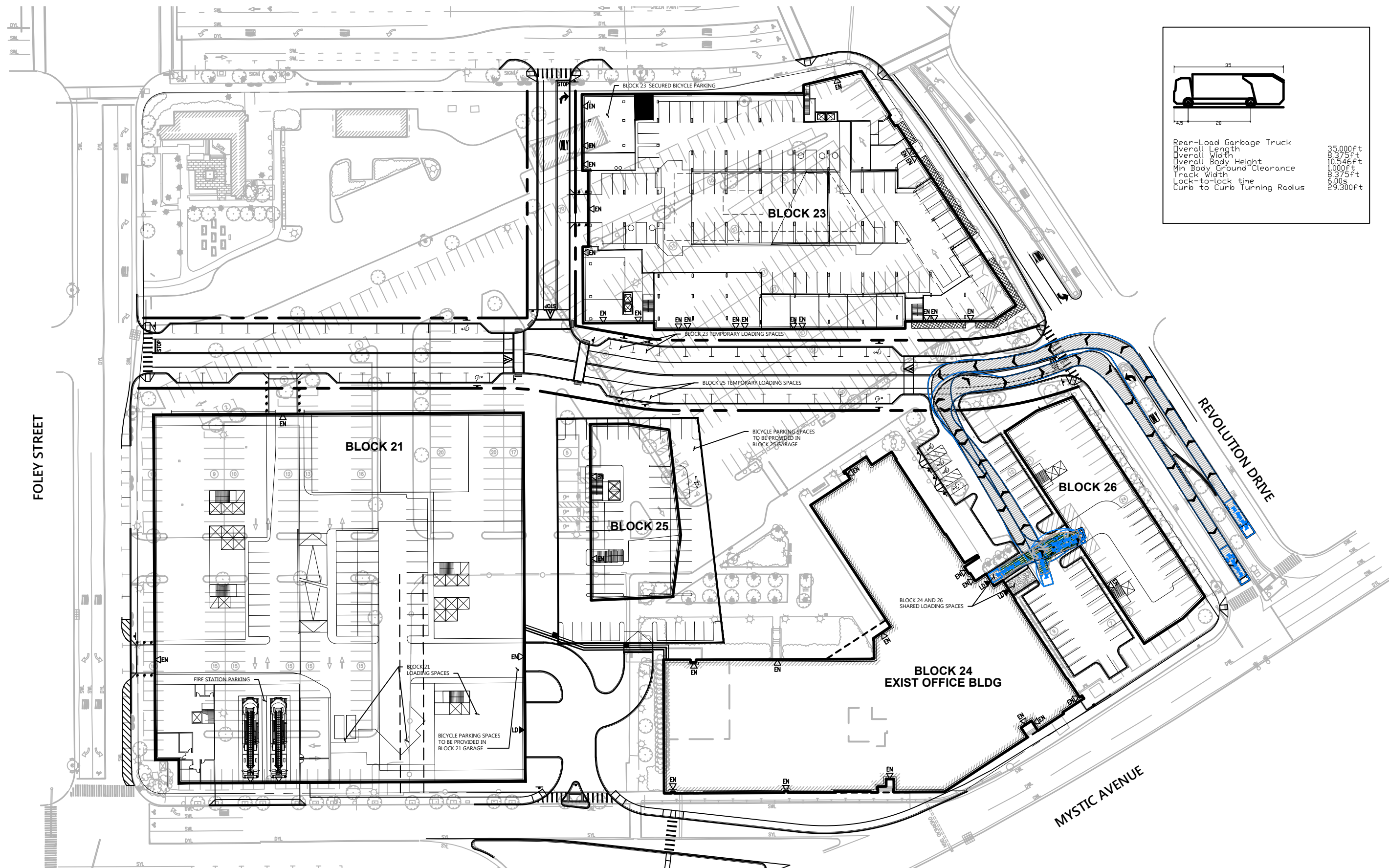


P - Passenger Car	19.000ft
Overall Length	7.000ft
Overall Width	4.300ft
Overall Body Height	1.15ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	31.60°
Max Steering Angle (Virtual)	



Block 25 Passenger Car Route
XMBLY
5 Middlesex Avenue
Somerville, Massachusetts

TT-10
March 15, 2018



Rear-Load Garbage Truck

Overall Length35.000ft

Overall Width8.375ft

Overall Body Height10.546ft

Min Body Ground Clearance1.000ft

Track Width8.375ft

Lock-to-lock time6.00s

Curio to Curio Turning Radius29.300ft

